

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)**
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: KDH WTP
Address: 500 8th St, Kill Devil Hills, NC 27948

Owner/Authorized Agent: Town of Kill Devil Hills/ Steve Albright
Phone #: 252.480.4080 E-Mail: steve@kdhnc.com

Abbreviations: City/County Private State
Code Enforcement Jurisdiction: City Kill Devil Hills County State

CONTACT: Mark Kasten, AIA

DESIGNER	FIRM	NAME	LIC #	TELEPHONE #	E-MAIL
Architectural	Cahoon + Kasten Architects	Mark Kasten	7220	252.441.0271	mark@cbkarchitects.com
Civil					
Electrical					
Fire Alarm					
Plumbing					
Mechanical					
Sprinkler-Standpipe					
Structural					
Retaining Walls >5h					
Other					

2018 NC BUILDING CODE: New Building Addition 1st Time Interior Completion
 Shell / Core* Phased Construction*

*Contact the local inspection jurisdiction for possible additional procedures and requirements.

2018 NC EXISTING BUILDING CODE: Prescriptive Alteration Level I Historic Property
 Repair Alteration Level II Change of Use
 Chapter 14 Alteration Level III

CONSTRUCTED: (date) 1963 CURRENT OCCUPANCY(S) (Ch. 3): F-1/B
RENOVATED: (date) 2003 PROPOSED OCCUPANCY(S) (Ch. 3): F-1/B
RISK CATEGORY (Table 1604.5): Current: III Proposed: III

BASIC BUILDING DATA

Construction Type: I-A II-A III-A IV V-A
 I-B II-B III-B V-B

Sprinklers: No Partial NFPA 13 NFPA 13R NFPA 13D

Standpipes: No Class 1 II III Wet Dry

Primary Fire District: No Yes **Flood Hazard Area:** No Yes

Special Inspections Required: No Yes If special inspections are required, contact the local inspection jurisdiction for additional procedures and requirements.

Gross Building Area Table			
FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
4th Floor			
3rd Floor			
2nd Floor	320 SF	699 SF	1,019 SF
Mezzanine			
1st Floor	2239 SF		2239 SF
Basement			
Total	2559 SF	699 SF	3258 SF

ALLOWABLE AREA

Primary Occupancy Classification(s):
Assembly: A-1 A-2 A-3 A-4 A-5
Business: B
Educational: E
Factory: F-1 Moderate F-2 Low
Hazardous: H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
Institutional: I-1 I-2 I-1 & I-2 Condition I-3 I-4 I-3 Condition I-1 I-2 I-3 I-4 I-3 Condition I-1 I-2 I-3 I-4 I-3 Condition I-1 I-2 I-3 I-4 I-3 Condition

Mercantile: R-1 R-2 R-3 R-4
Residential: S-1 Moderate S-2 Low High Pile
Storage: Parking Garage Open Enclosed Repair Garage

Utility and Miscellaneous:

Accessory Occupancy Classification(s): _____
Incidental Uses (Table 509): _____
Special Uses (Chapter 4 - List Code Sections): _____
Special Provisions (Chapter 5 - List Code Sections): _____
Mixed Occupancy: No Yes Separation: Hr. Exception:
 Non-Separated Use (508.3) Separated Use (508.4)

See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} + \dots \leq 1$$

STORY #	DESCRIPTION AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3}
1	F-1/B	2,239 SF	12,000 SF		12,000 SF
2	B	1,019 SF	12,000 SF		12,000 SF
Building Area		3,258 SF	Maximum Allowable Building Area		24,000 SF

¹Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
b. Total Building Perimeter = _____ (P)
c. Ratio (F/P) = _____ (F/P)
d. W = Minimum width of public way = _____ (W)
e. Percent of frontage increase If = 100 [F/P - 0.25] x W/30 = _____ (%)

²Unlimited area applicable under conditions of Section 507.
³Maximum Building Area = total number of stories in the building x D (maximum 3 stories)(506.2).
⁴The maximum area of open parking garages must comply with Table 406.5.4.
⁵Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT			
ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE ¹	
Building Height in Feet (Table 504.3) ²	55'	27.5' ±	
Building Height in Stories (Table 504.4) ³	2	2	

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.
2. The maximum height of air traffic control towers must comply with Table 412.3.1.
3. Then maximum height of open parking garages must comply with Table 406.5.4.

PERCENTAGE OF WALL OPENING CALCULATIONS				
WALL	FIRE SEPARATION DISTANCE FROM PROPERTY LINES (FEET)	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

FIRE PROTECTION REQUIREMENTS						
BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQ'D	RATING PROVIDED (W/_____* REDUCTION)	DETAIL# AND SHEET#	DESIGN# FOR RATED ASSEMBLY	SHEET# FOR RATED PENETRATION
Structural frame, including columns, girders, & trusses		0				
Bearing walls						
Exterior						
North		2				
East		2				
West		2				
South		2				
Interior		0				
Nonbearing walls and partitions						
Exterior walls						
North						
East						
West						
South						
Interior walls and partitions		0				
Floor construction including supporting beams and joists		0				
Floor Ceiling Assembly		0				
Columns Supporting Floors		0				
Roof Construction, including supporting beams and joists		0				
Roof Ceiling Assembly		0				
Columns Supporting Roof		0				
Shafts Enclosures - Exit						
Shafts Enclosures - Other						
Corridor Separation						
Occupancy/ Fire Barrier Separation						
Party/Fire Wall Separation						
Smoke Barrier Separation						
Smoke Partition						
Tenant/Dwelling Unit/ Sleeping Unit Separation						
Incidental Use Separation						

* Indicate section number permitting reduction

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: No Yes
Exit Signs: No Yes
Fire Alarm: No Yes
Smoke Detection Systems: No Yes Partial
Carbon Monoxide Detection: No Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: 2/A001 (Second Floor Only - No Change to First Floor)

Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Occupancy Use for each area as it relates to occupant load calculations (Table 1004.1.2)
 Occupant loads for each area
 Exit sign locations (1013)
 Exit access travel distances (1017)
 Common path of travel distances (1006.2.1 & 1006.3.2(1))
 Dead end lengths (1020.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.1.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 Location of doors with electromagnetic egress locks (1010.1.9.9)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1030)
 The square footage of each fire area (202)
 The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)							
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)						
LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 132" ACCESS AISLE	8' ACCESS AISLE	
TOTAL						

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)								
USE	WATERCLOSETS		URINALS		LAVATORIES		SHOWERS	
	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	TUBS	REGULAR ACCESSIBLE
EXISTING								
NEW REQ'D								

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHA, etc., describe below)

ENERGY REQUIREMENTS: EXISTING NO CHANGE

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: No Yes (The remainder of this section is not applicable)

Exempt Building: No Yes (Provide code or statutory reference): _____

Climate Zone: 3A 4A 5A

Method of Compliance:
Energy Code: Performance Prescriptive
ASHRAE 90.1: Performance Prescriptive
Other: (specify source) _____

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Skylights in each assembly:
U-Value of skylights: _____
total s.f. of skylights in each assembly: _____

Exterior Walls (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Openings (windows or doors with glazing)
U-Value of assembly: _____
Solar heat gain coefficient: _____
Projection factor: _____
Door R-Values: _____

Walls below grade (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/vertical requirement: _____
Slab heated: _____

Floors over unconditioned space (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors slab on grade
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

STRUCTURAL DESIGN

Importance Factors: Wind (I_w) _____
Snow (I_s) _____
Seismic (I_e) _____

EXISTING NO CHANGE

Live Loads: Roof _____ psf
Mezzanine _____ psf
Floor _____ psf

Ground Snow Load: _____ psf

Wind Load: Basic Wind Speed _____ mph (ASCE-7)
Exposure Category _____

SEISMIC DESIGN CATEGORY: A B C D

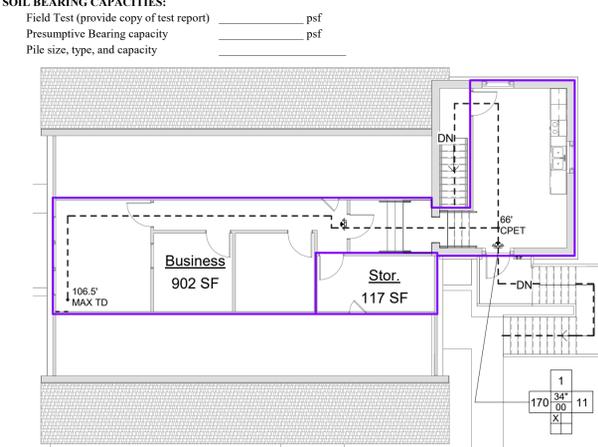
Provide the following Seismic Design Parameters:
Risk Category (Table 1604.5) I II III IV
Spectral Response Acceleration S_s _____ %g S₁ _____ %g
Site Classification (ASCE-7) A B C D E F
Data Source: Field Test Presumptive Historical Data

Basic structural system (check one)
 Bearing wall Dual w/Special Moment Frame
 Building Frame Dual w/Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum

Analysis Procedure: Simplified Equivalent Lateral Force Dynamic
Architectural, Mechanical, Components anchored? Yes No

LATERAL DESIGN CONTROL: Earthquake Wind

SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) _____ psf
Presumptive Bearing capacity _____ psf
Pile size, type, and capacity _____

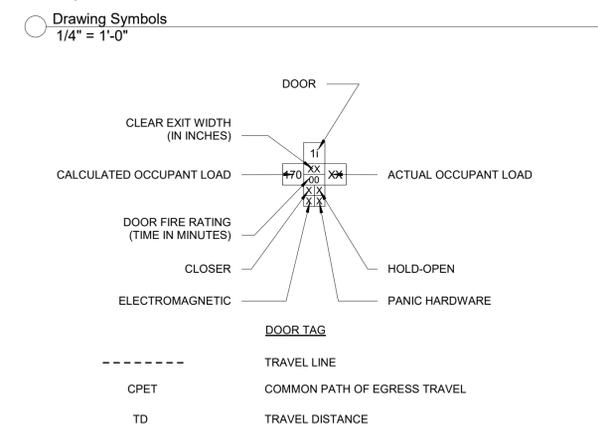
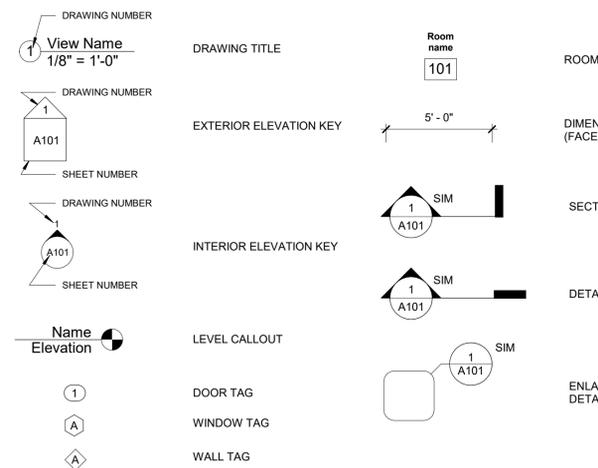


1 Second Floor Life Safety
3/32" = 1'-0"

ABBREVIATIONS

- 1R1S (1) ROD + (1) SHELF
- ACI AMERICAN CONCRETE INSTITUTE
- ACT ACYOTICAL CEILING TILE
- AFFF ABOVE FINISH FLOOR
- AFG ABOVE FINISH GRADE
- AHU AIR HANDLING UNIT
- ALUM. ALUMINUM
- AM ANTE MERIDEN
- ARCH. ARCHITECTURAL
- ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS
- BFE BASE FLOOD ELEVATION
- B.O. BOTTOM OF
- CJ CONTROL JOINT
- CAB. CABINET
- CLG CEILING
- CMU CONCRETE MASONRY UNIT
- CO CLEANOUT
- CONC. CONCRETE
- CONT. CONTINUOUS
- CPET COMMON PATH OF EXIT TRAVEL
- CW COLD WATER
- DBL DOUBLE
- DR. DOOR
- DWG. DRAWING
- DWV DRAIN WASTE/ VENT
- DS DOWNSPOUT
- DTL DETAIL
- EC ELECTRICAL CONTRACTOR
- ELJ EXPANSION JOINT
- ELECT. ELECTRICAL
- ELEV. ELEVATION
- ETC. ETCETERA
- E.T.R. EXISTING TO REMAIN
- EWIC ELECTRIC WATER COOLER
- EXIST. EXISTING
- EXT. EXTERIOR
- FBGLS. FIBERGLASS
- FCP FIBER CEMENT PANEL
- FD FLOOR DRAIN
- FF FINISH FLOOR
- FEC FIRE EXTINGUISHER CABINET
- FJ FALSE JOINT
- FLR. FLOOR
- GC GENERAL CONTRACTOR
- GA. GAUGE
- GALV. GALVANIZED
- GEN. GENERAL
- GS GANG STUD
- GWB GYPSUM WALL BOARD
- H/C HANDICAPPED
- HDWR. HARDWARE
- HM HOLLOW METAL
- HORIZ. HORIZONTAL
- HP HEAT PUMP
- CEMAKER CEMENT MAKER
- IM INSULATION
- INT. INTERIOR
- KW KILOWATT
- LOCS. LOCATIONS
- LSL LAMINATED STRAND LUMBER
- MAX. MAXIMUM
- MBT MARBLE THRESHOLD

- MC MECHANICAL CONTRACTOR
- MEJ MASONRY CONTROL JOINT
- MEJ MASONRY EXPANSION JOINT
- MECH. MECHANICAL
- MFR. MANUFACTURER
- MIN. MINIMUM
- MTL METAL THRESHOLD
- MTL METAL
- NCSCB NORTH CAROLINA STATE BUILDING CODE
- NOT IN CONTRACT
- NO. NUMBER
- NOM. NOMINAL
- O.C. ON CENTER
- O.D. OVERFLOW DRAIN/OUTSIDE DIAMETER
- O.H. OPPOSITE HAND
- OPNG. OPENING
- O/S OUTSIDE
- OTB OPEN TO BELOW
- PC PLUMBING CONTRACTOR
- PH PHASE
- PJ PANEL JOINT
- PL POINT LOAD
- P-LAM PLASTIC LAMINATE
- PME PLUMBING, MECHANICAL, & ELECTRICAL
- PP PUSH PAD
- PSF POUNDS PER SQUARE FOOT
- PSI POUNDS PER SQUARE INCH
- PSL PARALLEL STRAND LUMBER
- P.T. PRESURE TREATED
- PNTD PAINTED
- P.W. / PWD PLYWOOD
- RC REINFORCED CONCRETE
- RCP REFLECTED CEILING PLAN
- RD REINFORCED OR REINFORCING
- REINF. REINFORCED OR REINFORCING
- REQ'D REQUIRED
- RL ROOF LEADER
- RUB RUBBER
- SAN SANITARY
- SF SQUARE FOOT OR SQUARE FEET
- SIM SIMILAR
- SP SOUTHERN PINE
- SPF SPRUCE/ PINE/ FIR
- SS STAINLESS STEEL
- STOR. STOREFRONT
- STL. STEEL
- TD TRAVEL DISTANCE
- TME TO MATCH EXISTING
- T.O. TOP OF
- T.O.P. TOP OF PLATE
- TRD. TREAD
- TYP. TYPICAL
- U.N.O. UNLESS NOTED OTHERWISE
- V. VOLT/ VOLTAGE
- VCT VINYL COMPOSITE TILE
- VERT. VERTICAL
- VIF VERIFY IN FIELD
- W/ WITH
- WGL WIRE GLASS
- WD WOOD



Life Safety Legend
1/4" = 1'-0"

Occupant Schedule				
Name	Area	Occupancy	Occupancy S.F. Type	Area Per Occupant
Business	902 SF	Business Areas	Gross	100 SF
Stor.	117 SF	Accessory Storage Areas, Mechanical Equipment Room	Gross	300 SF
Grand total:	2			

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Project: **KDH WTP**

Project No: **25030**

Location: **500 8th St, Kill Devil Hills, NC 27948**

Title: **Appendix B**

Date: **December 04, 2025**

Scale: **As indicated**

Drawing Index	
Sheet Number	Sheet Name
A001	Appendix B
A101	Floor Plans, Elevations, Sections, & Notes
A102	Interior Elevations, Details, & Schematic Electrical & Mechanical Plans

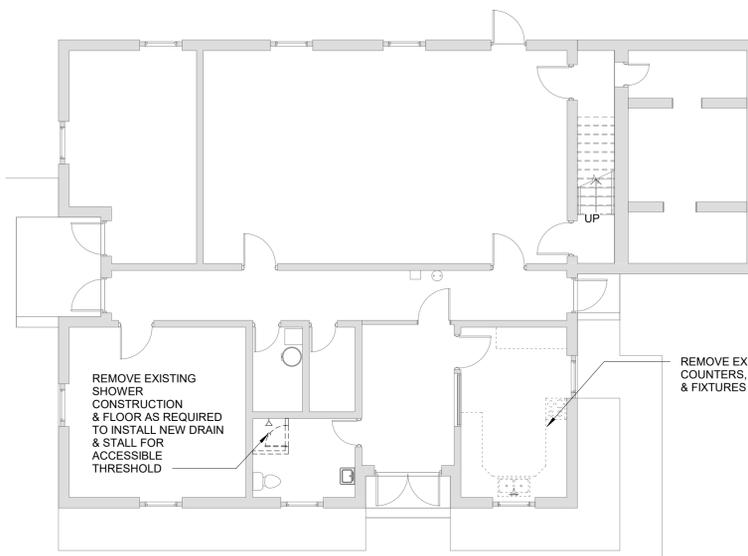
The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

Professional seals for Mark Arvey Kasten (Professional Engineer) and Mark Kasten (Registered Architect). Includes date 12/04/25.

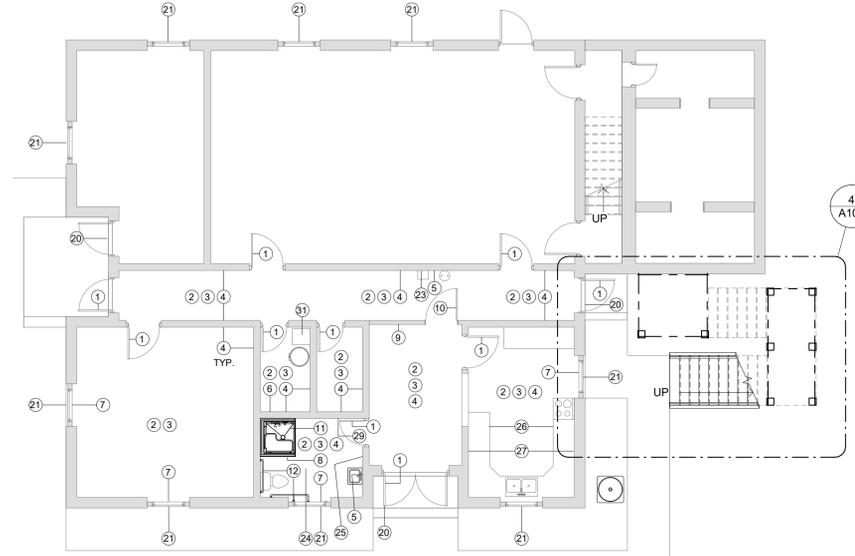
Revisions:

No.	Description	Date

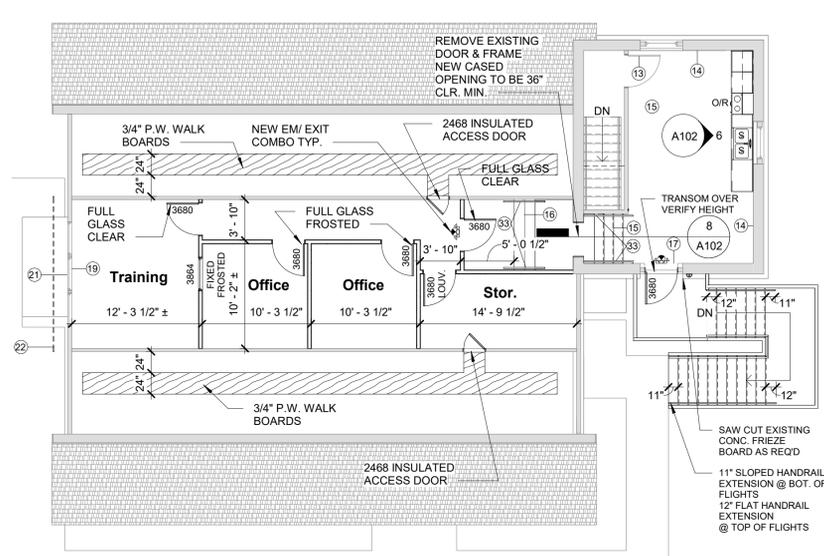
Designed: BBC
Drawn: JPB
Reviewed: MAK
Cad File:



1 First Floor Plan Demolition Plan
 1/8" = 1'-0"



2 First Floor Plan
 1/8" = 1'-0"



3 Second Floor Plan
 1/8" = 1'-0"

SPECIFICATIONS

Renovation

See plan for numbered locations.

- Sand and paint existing doors and frames. Apply primer and two coats of enamel paint. If hardware is replaced use stainless steel ADA compliant lever sets.
- Paint ceiling and conduits. Apply two coats of eggshell latex to ceilings and two coats of enamel paint to conduits.
- Clean tile floors and grout using an approved cleaner and rotating brush. Apply grout sealer.
- Clean tile-faced CMU walls using an approved cleaner and rotating brush. Apply grout sealer.
- Laminate access panels using plastic laminate and stainless steel metal edging.
- Cut opening to a standard size and install plastic access panel.
- Sand and paint existing window frames and panels. Apply primer and two coats of enamel paint.
- Construct new walls floor to ceiling for shower enclosure using flat P.T. 2x4 framing w/ P.T. P.W. to one side of "wing wall" install water resistant gypsum board. Finish drywall and apply primer and two coats of eggshell latex paint.
- Remove existing paneling and replace with water resistant gypsum board. Finish drywall and apply two coats of enamel paint.
- Install new steel door and metal frame to match existing. Apply primer and two coats of enamel paint. Install new stainless steel hardware with ADA approved lever handle.
- Install ADA compliant shower (see drawings 1-3 on sheet A102). Freedom Showers #APFQ3682BF75R w/ factory installed ada package APFQADACCPK36NSD & Symmons Pressure Balanced Mixing Valve, plus Hand Held Shower and Glide bar (Factory mounted) OR EQUAL.
- Install grab bars (see drawings 4-5 on sheet A102).
- Replace existing door with flush solid core wood door. Apply primer and two coats of enamel paint. Install new stainless steel ADA compliant lever passage set.
- Paint wood walls and trim with primer and two coats of enamel paint.

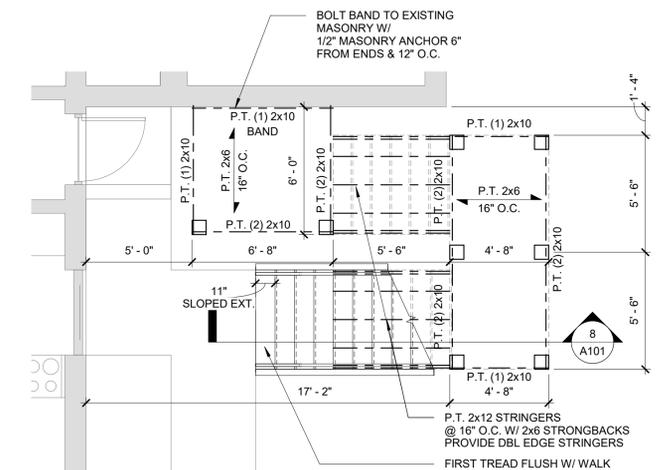
- Install sheet vinyl floor (over leveling compound) with welded seams and synthetic quarter-round painted to match trim. Armstrong Heterogeneous Sheet Flooring Nidar/Zenscape or Equal. Color TBD
- Remove existing un-uniform treads and risers. Install new steps per detail 8/A102. Install vinyl treads and risers to match flooring. Flexco Vinyl Stair Treads or Equal. Color TBD
- Relocate receptacle and baseboard heater
- Provide (1) 220V receptacle for range and (1) 110V receptacle for hood. Hood to be recirculating with filter. Appliance selections by owner.
- Install wood window trim to match existing second floor trim. Apply primer and two coats of enamel paint.
- Paint exterior face of doors, and trim. Apply two coats of enamel paint.
- Paint exterior window trim. Apply two coats of enamel paint.
- Paint rake trim. Apply two coats of enamel paint.
- Replace receptacle (water cooler)
- Replace ceiling light fixture.
- Install new switch for existing ceiling fan.
- Remove range. Replace cabinets, counters, & double sink. See 7/A102 for details.
- Install (2) GFP duplex receptacles each side of Lab. (surface mounted with metal conduit.)
- Remove superficial loose mortar. Caulk all gaps in block, 3/16" or wider, with gray flexible caulk. Contact architect for excessive amounts of loose mortar.
- Paint metal wall heater cover panel. Apply two coats of enamel paint.
- Allow \$2,500 for interior plastic room signage. (install as directed by owner.)
- Replace sink w/ utility sink.
- Allow \$10,000 for data rack and cable installation.
- Install ADA Alum. handrail each side of steps

New Construction

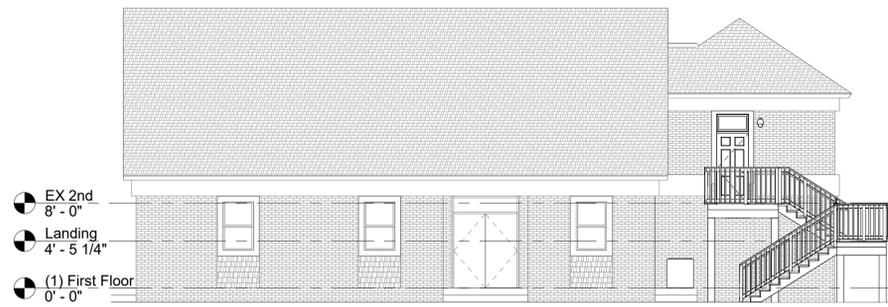
- Exterior door to be steel with steel frame. Door to have vision light with tempered glass. Transom to be 1" double-glazed. Install stainless steel lever lockset. Apply primer and two coats of enamel paint to door and frame.
- Interior doors to be flush wood solid core with knock-down steel frames. Finish with primer and two coats of enamel paint. Install stainless steel ADA compliant lever privacy sets.
- Interior window to be tempered single pane in steel frame. Finish frame with primer and two coats of enamel paint.
- Walls to be 2x4 wood framing and 5/8" gypsum board. Finish drywall and apply primer and two coats of eggshell latex paint.
- Ceilings to be 5/8" gypsum board. Finish drywall and apply primer and two coats of eggshell latex paint.
- Electrical devices and trims to be white. Lighting fixtures to be low-profile surface mounted LEDs set to warm white.
- Flooring to be welded sheet vinyl. Install 4" vinyl base throughout. Install vinyl treads and risers to match flooring.
- Provide appropriately sized disconnects for air handler and compressor.
- See drawings for exterior stair and landing construction.

General notes

- Work shall be coordinated and phased to accommodate owner occupancy during construction



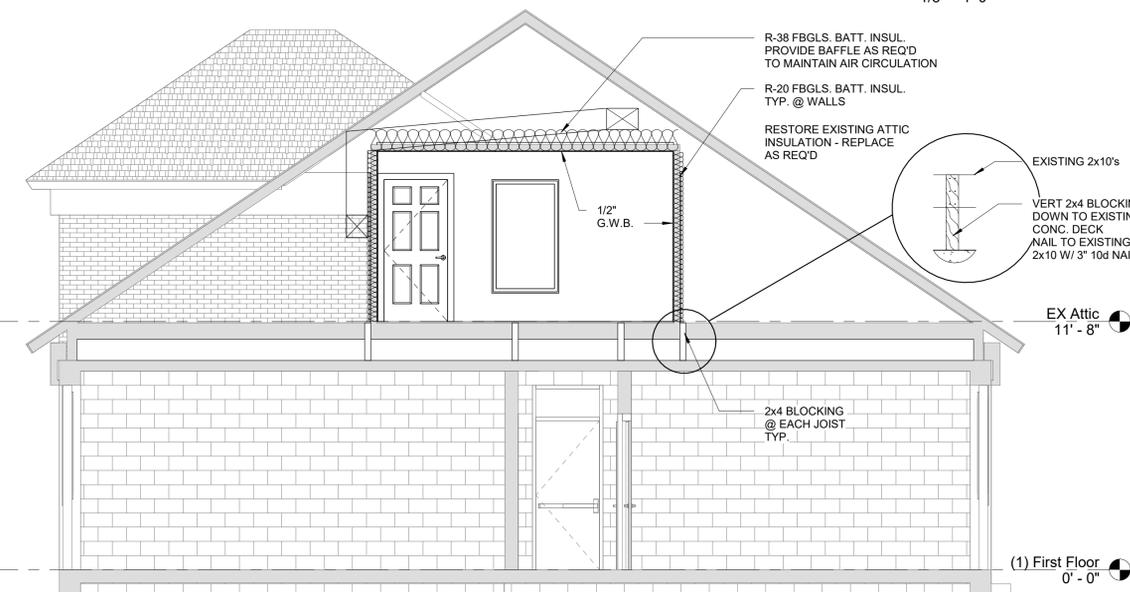
4 Enlarged Stair Detail
 1/4" = 1'-0"



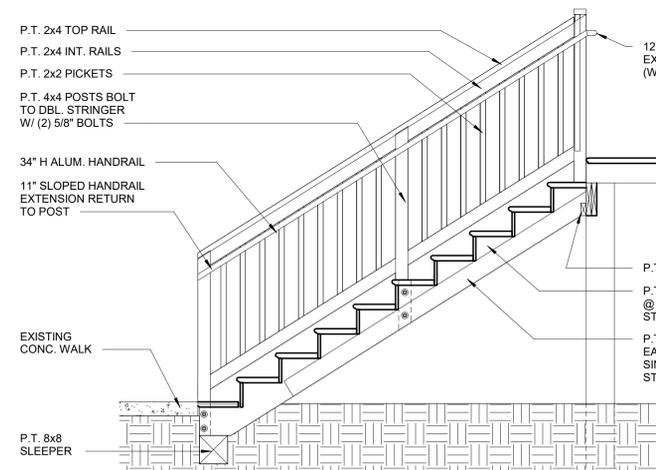
5 East Elevation
 1/8" = 1'-0"



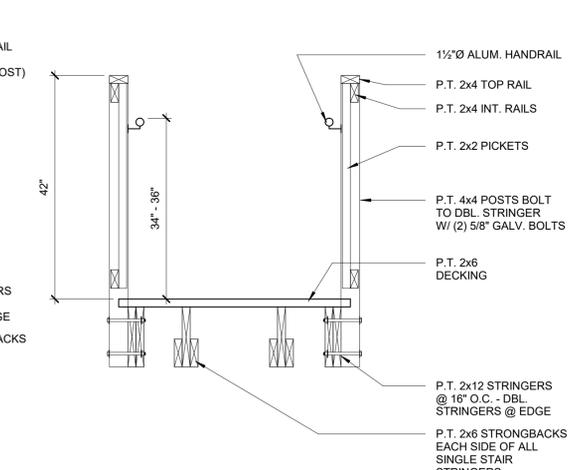
6 North Elevation
 1/8" = 1'-0"



7 Section 1
 1/4" = 1'-0"



8 Section 2
 1/2" = 1'-0"



9 2x4 Railing
 3/4" = 1'-0"

Project: **KDH WTP**

Project No: **25030**

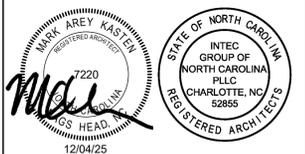
Location: **500 8th St, Kill Devil Hills, NC 27948**

Title: **Floor Plans, Elevations, Sections, & Notes**

Date: **December 04, 2025**

Scale: **As indicated**

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

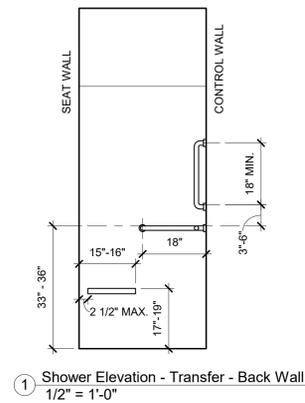


Revisions:

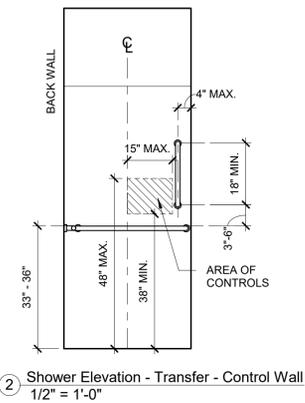
No.	Description	Date

Designed: BBC
Drawn: JPB
Reviewed: MAK
Cad File:

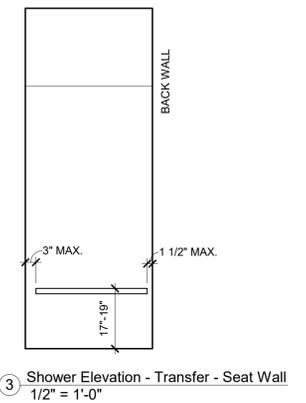
A101



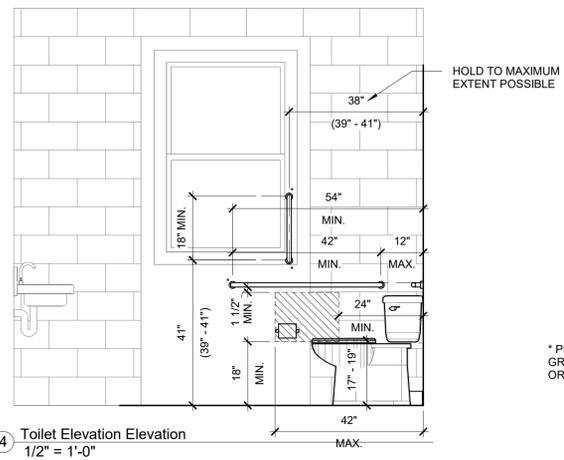
1 Shower Elevation - Transfer - Back Wall
 1/2" = 1'-0"



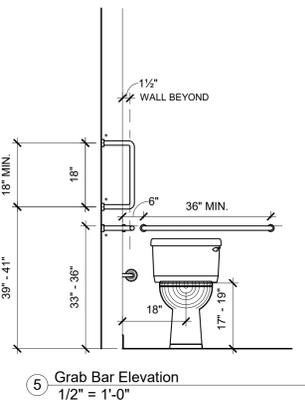
2 Shower Elevation - Transfer - Control Wall
 1/2" = 1'-0"



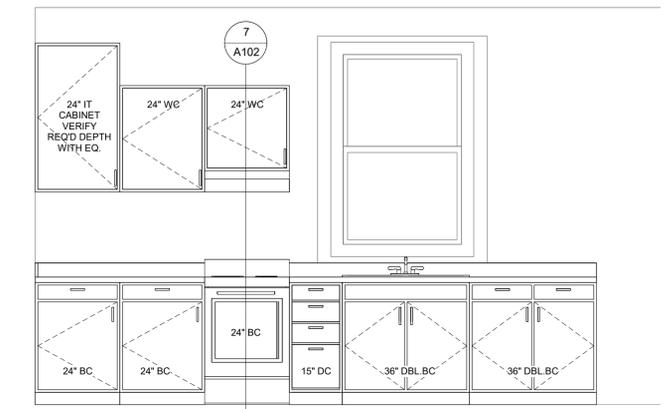
3 Shower Elevation - Transfer - Seat Wall
 1/2" = 1'-0"



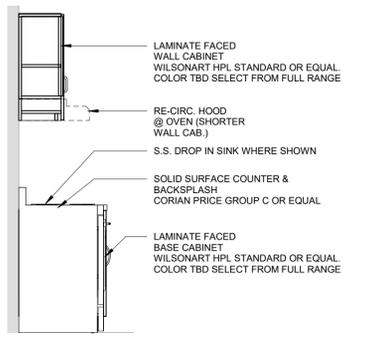
4 Toilet Elevation
 1/2" = 1'-0"



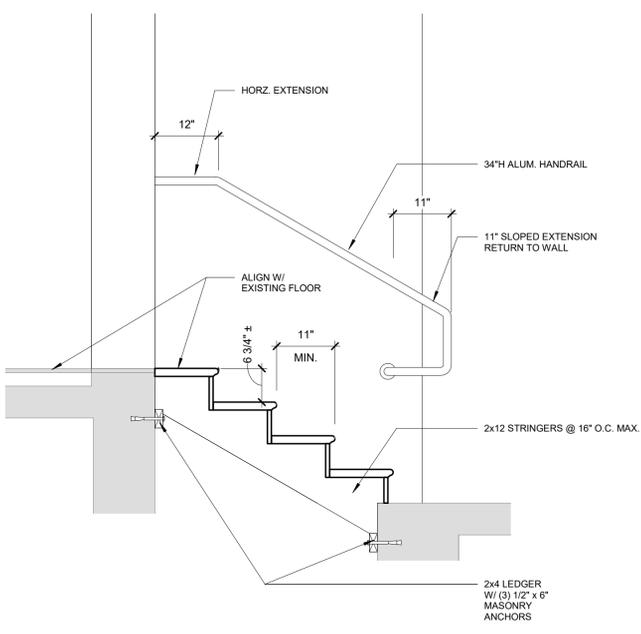
5 Grab Bar Elevation
 1/2" = 1'-0"



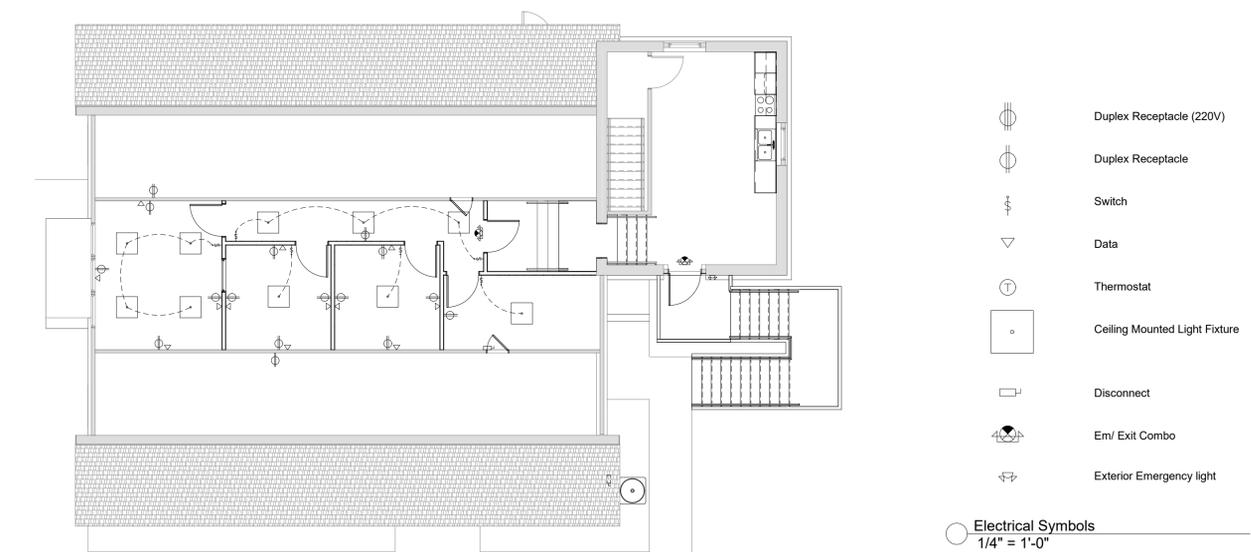
6 Cabinet Elevation
 1/2" = 1'-0"



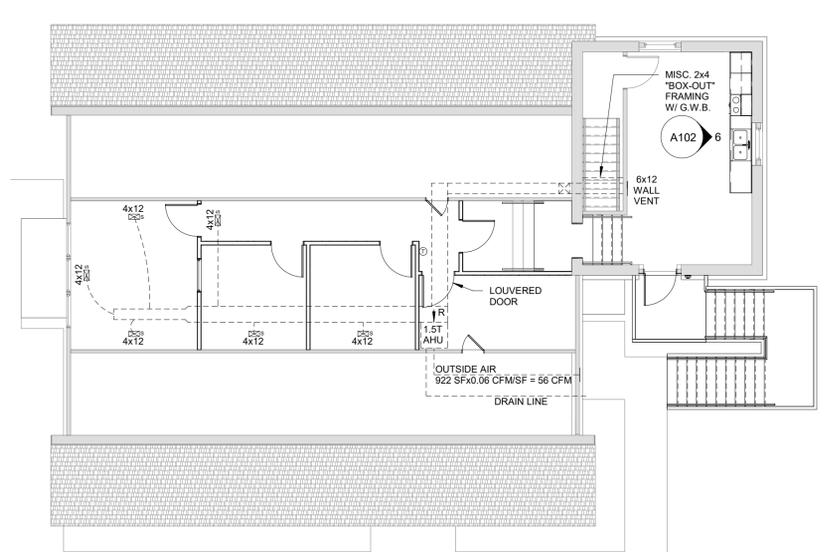
7 Cabinet Detail
 1/2" = 1'-0"



8 Step Detail
 3/4" = 1'-0"



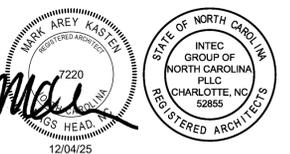
9 Second Floor Schematic Electrical Plan
 1/8" = 1'-0"



10 Second Floor Schematic Mechanical Plan
 1/8" = 1'-0"

Project: **KDH WTP**
 Project No: **25030**
 Location: **500 8th St, Kill Devil Hills, NC 27948**
 Title: **Interior Elevations, Details, & Schematic Electrical & Mechanical Plans**
 Date: **December 04, 2025**
 Scale: **As indicated**

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Revisions:

No.	Description	Date

Designed: BBC
 Drawn: JPB
 Reviewed: MAK
 Cad File:

A102