



TOWN OF KILL DEVIL HILLS

Land Where Flight Began

NOTICE OF PUBLIC MEETING

NOTICE IS HEREBY GIVEN that on Tuesday, May 21, 2024, at 5:30 p.m., the Kill Devil Hills Planning Board will hold its regular meeting of the month in the Town Hall Meeting Room located at 102 Town Hall Drive, Kill Devil Hills.

A printed packet is available for public inspection in the Office of the Town Clerk, 102 Town Hall Drive. To schedule an inspection time, contact the Department at 252-449-5300. Packet materials can be viewed on the Town's website at <https://www.kdhnc.com/743/Meetings-Agendas-Packets-Minutes>.

Written public comments for the Planning Board can be emailed to info@kdhnc.com. Comments must include your name and address and are limited to three minutes for individuals, and five minutes when speaking for a group.

AGENDA

Call to Order

Agenda Approval

Approval of the Minutes of the February 13, 2024, meeting

Public Comment

Response to Public Comment

Ongoing Business

New Business

1. Site Plan Review — 201 W Martin Street — Proposed Professional Office Building (Dentist Office)
2. Minor Subdivision Review — Ocean Breeze Townhomes: Phase 2 — Proposed 8-Lot Minor Subdivision
3. Minor Subdivision Review — Ocean Breeze Townhomes: Phase 3 — Proposed 8-Lot Minor Subdivision

Public Comment

Response to Public Comment

Board Member Comment

Adjournment

Posted this 16th day of May 2024.

Jennifer Stecher

Administrative Assistant/Deputy Town Clerk

Copies to: Mayor and Board of Commissioners, Planning Board members in their packet materials; Town Manager; Town bulletin boards; Town Sunshine List, including all local news media; Electronic Distribution List; Town website and social media; file

Minutes of the Tuesday, February 13, 2024, meeting of the Kill Devil Hills Planning Board held at 5:30 p.m. in the Town Hall Meeting Room, 102 Town Hall Drive, Kill Devil Hills, North Carolina.

Members Present: Chairperson Howard Buchanan, Becky Breiholz, T. Dillon Heikens, Michael Lowack, Sandie Markland, Natalie Painter, and Ron Seidman, II

Others Present: Cameron Ray, Assistant Planning Director; and Jennifer Stecher, Deputy Town Clerk

Call to Order

At 5:30 p.m., Chairperson Howard Buchanan called the Tuesday, February 13, 2024, meeting of the Kill Devil Hills Planning Board to order and welcomed everyone present.

Agenda Approval

Natalie Painter moved to approve the agenda for this meeting. Ron Seidman seconded the motion, which was approved by a unanimous, 6-0, vote.

Approval of the Minutes of the December 19, 2023 meeting

Mr. Seidman moved to approve the December 19, 2023, meeting minutes, as presented. Sandie Markland seconded the motion, which was approved by a unanimous, 6-0, vote.

Public Comment

Response to Public Comment

Ongoing Business

New Business

1. Proposed Zoning Amendments - §153.355(A) Site Plan Requirements & §153.357 Site Plan Review Process for Commercial, Multi-Family and Special Use Applications: Reduce Number of Copies Required for Review Process

During the January 24, 2024 Board of Commissioners meeting, the Town Clerk presented a report on ways to reduce the Town's carbon footprint as this is one of the Board's goals for Kill Devil Hills. One item that was presented was to decrease the number of paper copies required for site plan review. After consideration, the Board directed Staff to develop an ordinance amendment to decrease the required number to five accompanied by an electronic copy.

Town Code §153.355(A) & §153.357 currently requires fifteen copies of plans to be submitted at each submittal, which is a minimum of three submittals for a total of 45 copies. Included in the meeting packet was a proposed amendment to §153.355(A) & §153.357 to decrease the required number of copies for site plan review from fifteen to five accompanied by an electronic copy. As proposed, the reduced total number of copies will significantly reduce the amount of paper resources used for the site plan review process as well as reducing the costs for applicants.

Staff recommended forwarding the attached zoning amendments to §153.355(A) Site Plan Requirements & §153.357 Site Plan Review Process for Commercial, Multi-Family and Special Use Applications and consistency statement to the Board of Commissioners with a favorable recommendation.

Ms. Painter moved to forward the Proposed Zoning Amendments - §153.355(A) Site Plan Requirements & §153.357 Site Plan Review Process for Commercial, Multi-Family and Special Use Applications: Reduce Number of Copies Required for Review Process and consistency statement with approval to the Board of Commissioners. Dillon Heikens seconded the motion, which passed with a unanimous 6-0 vote.

2. Proposed Amendments – §10 General Provisions, §150 Building Regulations, §151 Flood Damage Prevention, §152 Subdivisions, and §153 Zoning: Modify Notice of Violation, Civil Penalties, and Appeals Procedures to Clarify Procedures

The proposed amendments have been prepared to modify the Town’s notice of violation, civil penalties, and appeals procedures for clarification. The amendments are to the following chapters; §10 General Provisions, §150 Building Regulations, §151 Flood Damage Prevention, §152 Subdivisions, and §153 Zoning.

The proposed amendment to Chapter 10 General provisions included the addition of definitions and revisions for consistency with the definitions. The proposed definitions are “Civil Penalty” and “Violation” and are being proposed so that it is clear what these items are when referred to in portions of Chapter 10. Additionally, Chapter 10 included language revisions and was restructured to clarify verbiage to be consistent with definitions while being more organized for the interpretation for Town Staff and the public in regards to violations, who is authorized to issue violations, civil penalties, and appeals to violations.

The proposed amendment to Chapter 150 Building Regulations provides a new section for appeals to decisions made by a building inspector in regard to the enforcement of the North Carolina Building Code. Appeals to the decisions are required by NCGS to be heard by the North Carolina Department of Insurance and the amendment provided reference in the Town Code for this process.

The proposed amendment to Chapter 151 Flood Damage Prevention revised the appeal board for corrective procedures appeals to the Board of Adjustment, which is the appropriate board to review an appeal of this ordinance. Additionally, a new section was added for all appeals of Chapter 151 to provide proper procedure by reference.

The proposed amendment to Chapter 152 Subdivisions restructured the section for violations and appeals to be at the end of the ordinance to be consistent with other Town Code

sections. Additionally, the amendment added a new section for all appeals to the Subdivision ordinance and provided proper procedure by reference.

The proposed amendment to Chapter 153 Zoning Code revised the enforcement section to reference the proper section 10.18 for violations of the Town Code. Additionally, the amendment added a new section for all appeals to the Zoning Ordinance and provided proper procedure reference.

These amendments do not change how violations or appeals are handled day to day. The purpose is to clarify the existing language to make it more user-friendly and easier to understand to the public.

Staff recommended forwarding the amendments to §10 General Provisions, §150 Building Regulations, §151 Flood Damage Prevention, §152 Subdivisions, and §153 Zoning and consistency statement to the Board of Commissioners with a favorable recommendation.

Ms. Markland suggested the mail service be lengthened from three days to five or seven days given the current circumstance of mail service. Staff noted the three days is based on notice procedures for the State and Staff will research the possibility of using five to seven days for mail service.

Mr. Lowack moved to forward the Proposed Amendments – §10 General Provisions, §150 Building Regulations, §151 Flood Damage Prevention, §152 Subdivisions, and §153 Zoning: Modify Notice of Violation, Civil Penalties, and Appeals Procedures to Clarify Procedures and consistency statement with approval to the Board of Commissioners. Becky Breiholz seconded the motion, which passed with a unanimous 6-0 vote.

Public Comment

Response to Public Comment

Board Member Comment

Chairman Buchanan congratulated Dillon Heikens for being appointed to the BOC and thanked him for services to the Planning Board.

Adjournment

There being no further business before the Planning Board at this time, Ms. Markland moved to adjourn the meeting. Ms. Breiholz seconded the motion, which was approved by a unanimous, 6-0, vote.

It was 5:37 p.m.

Submitted by:

Jennifer Stecher
Administrative Assistant/Deputy Town Clerk

Director of
Planning and Inspections
MEREDITH GUNS

Building Inspector
MARTY SHAW
CHARLES THUMAN

Code Enforcement Officer
JORDAN BLYTHE



Assistant Director of
Planning and Inspections
CAMERON RAY

Senior Planner
RYAN LANG

Zoning Administrator
DONNA ELLIOTT

THE TOWN OF KILL DEVIL HILLS
NORTH CAROLINA

PLANNING DEPARTMENT

May 21, 2024

Memorandum

To: Planning Board

From: Ryan Lang, Senior Planner 

Subject: SITE PLAN REVIEW — 1106 Blue Jay Street — Proposed Professional Office Building (Dentist Office)

Enclosed is a site plan review submittal by Creative Engineering Solutions, on behalf of Driftwood Dental, for a proposed office building (Dentist Office) at 1106 Blue Jay Street in the Commercial Zone. The proposed plan calls for construction of a 3,400 square foot office building with 20 parking spaces, and associated site improvements. The *Professional Office (L)* is a permitted use in the Commercial Zone 153.176. Attached you will find the site plan application, proposed site plan, site narrative, and applicants response to Staff's Technical Review comments.

The applicant has addressed most of staffs initial technical review comments; however the following conditions remain to be addressed:

Planning

1. Revise total proposed lot coverage to include area without permeable paver reduction. Revise in "Project Narrative" and in Note #14 on "Lot 1R Notes" sheet C2. Total area occupied and obstructed by and structure above the ground shall not exceed 75%.
2. Lighting Plan: Plan does not show lights that are shown on proposed floor plan. Revised plans shall be submitted identifying all provided light sources. All sides of the building are required to be lit. SW corner of building does not show light provided.

Staff recommends that the Planning Board forward the plan to the Board of Commissioners with a favorable recommendation after the above listed conditions have been addressed.

Town of Kill Devil Hills Planning and Inspections
Commercial Site Plan Review Application*



Applicant

Name: Dr. Trahey Maner
 Address: 422 Bridge Lane
Nags Head, NC 27959
 Phone: _____
 Fax: _____
 Cell: 252.256.2793

Property Owner

Name: Sapling Land Company, LLC
 Address: 422 Bridge Lane
Nags Head, NC 27959
 Phone: _____
 Fax: _____
 Cell: _____

Property Location

Address: 1106 Blue Jay St Lot, Block: 1-R, Block 17
 Subdivision: Kill Devil Hills Realty Corp Pin#: 988312867930

Zoning District: Commercial LI-1 LI-2 OIR
 Total Lot Size: 31,751 Sq. Ft. Disturbed Area: 25,000 Sq. Ft.

Contractor

Company Name: _____ License Number: _____
 Name: _____ Phone: _____
 Address: _____ Cell: _____
 _____ Fax: _____

Town Privilege License Number: _____

Construction Information

Type of Construction: _____
 Assembly Business Educational Factory/Industrial High Hazard
 Institutional Mercantile Residential Storage Utility/Misc.
 New Construction Addition Repair/Replace Remodel Other: _____

Square Footage Proposed: Covered Porch 101 Mechanical 249
 Interior Space: 3,570 Sq. Ft. Covered Deck(s): _____ Sq. Ft. Storage: _____ Sq. Ft.
 Garage: _____ Sq. Ft. # of Bedrooms: _____ # of Open Deck(s): _____
 Proposed Square Footage: 10,948 + Existing Square Footage: 0 = 10,948 Total Sq. Ft.
 % Impervious Coverage: 28.38 + % Pervious Coverage: 6.1 = 34.48 Total % Coverage
 # of Parking Spaces: Existing: 0 Proposed: 20 Total: 20
 Septic Tank Permit #: _____ Construction Type: _____

Estimated Construction Cost (including labor and materials): \$ 1.5 million

Flood Information

Flood Zone: VE AE X Base Flood Elevation: _____
 Proposed First Floor Elevation: 10.2 Sq. Ft Below Base Flood Elevation: N/A

*This form is designed as a guide for Commercial Site Plan Review.
 Additional plans and information will be required prior to building permits.

Project Description

Development of a two-story wood framed structure in support of a dentist office operation. Site improvements will be comprised of parking with associative drive aisle, lighting, sidewalk, stormwater, and utility infrastructure improvements.

Required Site Plan Information Checklist:

- Permit Application (Completed)
- Site Plan Including the following
 - Submittal Requirements:
 - Vicinity Map
 - 15 Copies of Site Plan & Building Plan Elevations – Front, Side, and Rear
 - Tentative Health Department Approval
 - Site Plan Development Review Fee Paid in Full
 - Existing Conditions:
 - Boundary of Entire Lot
 - Width and Location of Existing Right of Ways
 - Nature, Purpose, Locations, and Size of Existing Easements
 - Iron Pins and Concrete Monuments
 - Scale (1" = 50" Minimum)
 - North Arrow
 - Streets Including Width of Pavement
 - All Underground Utilities, Gas/Propane Below or Above Grade
 - Dare Co. Register of Deeds Map Book/Subdivision Ref.
 - Street Address
 - Present Recorded Owner, Developer, Engineer contacts
 - Adjacent Property Owners, Adj. Use & Zone
 - Corp. of Engineers Report / Wetland Study
 - NFIP Flood Zone (ref: Elevation Datum (NAVD 1988))
 - Minimum, Lot Size indicated
 - Proposed Improvements:
 - Zoning Use Compliance/Setbacks labeled
 - Landscaping Plan / Buffers / Screening (per section 153.073)
 - Lighting Plan - photometric showing point output (section 153.074)
 - Sedimentation & Erosion Control Plan including details
 - Disturbed Areas delineated & areas calculated
 - Location of Sidewalks on the Croatan Highway and Curbs
 - Location of Sewer Facilities and Drain field
 - Proposed Building Type, # of Floors and dimensions, floor area ratio, Height
 - Existing and Finished Grades of Entire Site
 - Storm Water Management Plan including calculations
 - Total Units and Density per Acre (Multi-Family) or floor area ratio (in OIR)
 - Lot Size and Lot Coverage Calculation
 - Utility Plan indicating location & sizes of proposed improvements
 - Water Service Sizing Checklist
 - Layout, Size and Number of Parking Spaces including handicap w/ setbacks (Each Space Numbered)
 - Fire Lane and Driveways
 - Loading Zone (Commercial Sites)
 - Mail Delivery Cluster Sites (Multi-Family)

- Proposed First Floor Elevation
- Dumpster Pad Location
- Proposed Sign Location
- Sight triangle shown
- Commercial Building Plans showing architectural compliance
- Plans to N.C.D.O.T. (if required)
- NC Engineer/Land Surveyor Seal on Site Plan

*** The items listed in the Site Plan portion of the above checklist represent information that must be indicated on any site plan submitted for review by the Kill Devil Hills Planning Department, Planning Board, and Board of Commissioners. All of the above required documents shall be submitted on or before the 3rd Tuesday of each month. Upon completion of review, the Planning Board shall transmit its recommendations to the Board of Commissioners. The Board of Commissioners shall review site plans on the second Monday of each month.

Signature of Applicant:



(Date)

3/19/2024



ARCHITECTURE + DESIGN, PLLC
PO BOX 1827, KITTY HAWK, NC 27949
PHONE: 252-441-6767, FAX: 252-261-6045

MANER DENTIST OFFICE - RESPONSES TO STAFF COMMENTS **5/7/24**

Planning

1. Revise application to include building square footage. (Chris)
2. Note if contractor is to be determined. *Answer: Contractor is yet to be determined*
3. Provide Utility Plan, *Answer: A separate utility plan has been provided and is noted as Sheet C-4*

Project Narrative

1. Zoning and Neighboring Uses. *Answer: This section has been revised to notate the correct description for neighboring uses.*
2. Development standards: #2 Provide Total Built Upon Area %: This section has been updated to reflect the built upon area percentage.
3. Maximum Building Height #4: Maximum 50', Proposed 35'. *Answer: This section has been revised to reflect the maximum 50' building height.*
4. #5 1 Parking Space per 250 square feet of gross floor area. (1 space per 250 square feet of gross floor area provided the area that would be required for parking at the ratio above remain open area used for landscaping, stormwater or other use that does not create impervious area. *Answer: This notation has been revised to notate the referenced language.*
5. Stormwater Narrative:
 - a. Add 4.3" inches of rainfall. *Answer: This reference has been added.*
 - b. State Stormwater Permit required under "Existing Permits". *Answer: This notation has been added.*
6. Utilities: Lighting plan required for the entire site. Plan submitted only includes the photometry for parking areas. *Answer- Photometric data has been provided for the site through to the property lines. Supplemental solar bollards have been provided along the sidewalk and depicted on Sheet C4 Utility Plan. The remaining photometry is depicted on a separate exhibit provided by the vendor.*

Sheet C1 Existing Conditions Plan:

1. A 20'x50' construction entrance is required. *Answer: A 20'x50' construction entrance is provided on sheet C-1*
2. Add to Erosion Control Sequence: "Obtain all necessary Federal, State, or Town of Kill Devil Hills permits prior to land disturbance". *Answer: This note has been provided prior to the construction sequence schedule.*

Sheet C-2 Site Development Plan:



ARCHITECTURE + DESIGN, PLLC
PO BOX 1827, KITTY HAWK, NC 27949
PHONE: 252-441-6767, FAX: 252-261-6045

1. Add "Lot 1-R Notes" from Sheet C5 to Sheet C2. Answer: The Lot 1-R Notes have been added.
2. Add location of stop sign to exit at Martin St. Answer: The stop sign notation has been added.
3. Dimension distance from edge of curbing on east side of entrance/exit to right of way intersection of Martin Street and Blue Jay Street. Answer: A dimensional distance has been provided.
4. Provide the proposed square footage of the office building: Answer: The building square footage information has been provided.
5. Add location of proposed HVAC. Answer: The location of the HVAC stand is provided.
6. Identify curbing and add detail on details sheet: Answer: This information was previously provided.
7. Revise permeable pavers symbol in "Surface Features". Answer: The hatched pattern on the plan matches the legend pattern and description.
8. Propose how the rear grade will be established for walkway appears to enter business and have large fall in grade. Retaining wall will likely be required. Answer: No retaining wall is required. Please reference Sheet C3.
9. Note is dumpster will be serviced by Town of Kill Devil Hills Public Services or Private Hauler. Answer: The dumpster location has been revised and discussed with Public Services for serviceability.
10. Show free standing sign location. Answer: This location is depicted on the plan.
11. Recommend adding a 5' sidewalk along Martin Street Right of Way. The sidewalk is included in the pedestrian plan. Answer: Public Services and the Town Engineer are requesting drainage improvements in the right of way which are in direct conflict with a potential sidewalk and the goal of tree preservation.

Sheet C-3 Grading and Drainage Plan:

1. Provide grading details for entire site including elevations of proposed sidewalk around rear of building and with retaining wall. Answer: Final grading spot elevations and finish grade contours are provided. A retaining wall is not required. Please reference the architectural west side building elevation.
2. Identify stormwater management features. Answer: Stormwater Management Control Measures are accurately depicted and notated.
3. Provide detail for riprap outlet protection. Answer: This detail information is provided on Detail Sheet C6

Sheet C-4 Landscaping Plan

1. Provide breakdown per property line of required trees and shrubs and numbers on proposed site plan. Answer: The plan has been updated to include this information.
2. Fence provided on west property line shall be 5' off of property line, landscaping required to be between fence and property line. Answer: The fence has been deleted.



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3. Fence provided on north property line shall be 10' off of property line, landscaping required to be between fence and property line. Answer: The fence has been deleted.
4. Note landscaping minimum planting trees for shrubs and trees. Answer: Minimum planting heights have been notated.
5. Note permanent ground cover for disturbed areas. Answer: A note has been provided describing the requirement for the establishment of a permanent ground cover.

Sheet C-5 Site Construction Details :

1. Lot 1-R Notes :
 - a. Minimum Building Setback: Side Yard 10', Side Street 15', Double Frontage 30'. Answer: This note has been revised to referenced the language above.
 - b. Revise "Total Project Area" to Lot size. Answer: The language has been revised.
 - c. FIRM Zone: Regulatory Flood Protection Elevation (RFPE) in Shaded X and X zones west of NC 12, the RFPE is eight feet NAVD 1988 or the natural grade elevation if the natural grade is greater than eight feet NAVD 1988. Answer: This language has been revised.
 - d. Proposed Lot Development Coverage: add % of total built upon area. Answer: This information has been provided.
 - e. Average Building Height: add Max 50' Answer: This language has been added
3. Label Details for Curb & Gutter: Answer: The details are labeled appropriately.
4. Construction Entrance #2: required width is 20'. Answer: The entrance width has been modified.
5. Provide details on stormwater management features. Answer: Stormwater Management Details are provided.

Proposed Architectural Drawings

1. Directions of proposed elevations noted on floor plan A1.1.
2. Roof overhangs dimensioned on sheet A1.3
3. Roof heights from top plate to ridge dimensioned on sheet 2.1
4. Building materials noted on sheets A2.1 and A2.2.

Building Inspector:

1. Note location of ADA signage on site plan. Answer: The sign location has been notated.

Solid Waste:

1. The dumpster site does not meet Town Standards for serviceable dumpsters by the Town. If the applicant intends to use a private hauler for dumpster service, the plans need to indicate that a private hauler is to be utilized for the site. If the applicant intends to be serviced by the Town, the dumpster site will need to be redesigned per the attached Town of Kill Devil Hills one



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dumpster diagram. Answer: The dumpster location has been relocated on site to meet the Town of Kill Devil Hills requirements.

Streets:

1. Provide edge of pavement grades along W. Martin Street across the site. Answer: The right of way elevations are generally flat. Supplemental existing grade elevations will be acquired and submitted with the construction plans.
2. Curbs tying into Boundary Street (corrected W. Martin Street), will need to have a gutter pan between the curb and the asphalt and valley gutter should be along the asphalt across the driveway draining water away from the asphalt. The street flows east so a flume may be needed on the easement end of the driveway. Answer: A concrete driveway apron has been proposed in lieu of asphalt.
3. Install drop inlet on the west side of the driveway with HDPE pipe extending to the existing ditch in Blue Jay St with outlet invert matching the existing pipe under W Martin Street at Blue Jay St and with a stubbed capped pipe on the west end of the structure. A second drop inlet should be placed in the pipe alignment near the southeast property corner. Answer: This information has been supplied on Sheet C3.
4. Road side swales need to be installed in W Martin Street to the east and west to the property line as they extend to capture the street drainage. Clearing in the areas west of the driveway will be needed for the stormwater installations. Answer: A roadway swale has been depicted on the supporting site plan sheets.
5. Provide detailed grading of the driveways that demonstrates that all site stormwater is captured on site or bmps that will capture water draining from the site directing water to the storm basins. Answer: A slotted drain has been provided across the driveway to capture on-site rainfall runoff to the maximum extent feasible.

Water System:

1. Show meter box and add "BY TOWN" to the "PROPOSED 1" METER". Answer: This information has been noted on the utility plan sheet.
2. Provide RPZ just downstream of the meter for the high hazard use. Answer: The RPZ is depicted on the utility plan.
3. Fees associated with proposed service is based upon the current fee schedule. Answer: Acknowledged.

Town Engineer:

1. We concur with Public Services comments, but recommend that the pipe tying into the existing Blue Jay Street system be a 15" HDPE "sock drain", with a downstream invert of about 4.1 (as deep as feasible), then extending westward to and across the site at a relatively flat slope (e.g. 0.10%). The roadside swale along the property's frontage would highpoint at the entrance and drain to the two DI's. Answer:



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2. The stormwater management design is generally satisfactory, but no information was provided on the Seasonal High Water Table, (SHWT).... Answer: A site specific soils investigation has been scheduled and will be required as part of the NCDEQ state stormwater management permit application. A copy of this information along with the permit approval will be provided in conjunction with the building permit application.
3. A couple of minor suggestions:
 - a. The concrete wheel stop detail indicates a height of 71/2". A height of 6" would reduce the instances of dragging for lower clearance vehicles. Answer: The wheel stop detail has been revised with a vertical dimensional height of 6".
 - b. The light-duty pavement detail calls out 2" min. concrete surface course NCDOT Type SF 9.5B.....Answer: The detail has been deleted since the pavement surface has been modified to concrete.

Fire Marshal

1. Water test shall be completed to determine water flow for fire suppression. Answer: A service provider has been contacted to coordinate this test directly with the KDH Fire Department. A tentative date has been scheduled for this test.
2. New hydrant may need to be put in. This will be determined once the water test is completed for flow and current location of all fire hydrants. Answer: Please see note above.
3. The fire lane drive aisle shall be able to support the weight of the fire apparatus. Answer: The paved surface type has been modified to concrete and note to the effect included.

Police

1. It appears there is a stop bar and stop sign indicated/marked on the site development plan but not labeled where the driveway meets Martin. Answer: The stop sign and stop bar have been positioned on the driveway apron to reduce any potential conflicts with vehicles travelling along Martin St.

Lots 1R Project Development Narrative

Project Name: Lot 1-R, Block 17, Kill Devil Hills Realty Corp Subdivision Dental Office Development Plan

Address: 1106 Blue Jay St

Kill Devil Hills, NC 27948

Parcel ID Number(s): 004379000

Recorded Reference: Lot 1-R: D.B 1717, Pg. 261, P.C. H, Slide 110

Total Project Area: 31,751 ft.² ± (0.73 ac. ±)

Firm Zone Community Panels: Zone X

Revision Date: June 19, 2020

Ownership: Sapling Land Company, LLC

422 Bridge Lane

Nags Head, NC 27959

Zoning and Neighboring Uses:

The subject property is currently undeveloped, lying within the C Commercial zoning classification. Directly neighboring the property are the following uses, also located within the associative zoning classification;

- East–Blue Jay Street 50’ R/W. (C), unimproved
- South–Martin St. 50’ R/W (C), improved
- West- developed residential- Lot 10:Harry Meraklis, Lot 9:Michelle Rogerson, Lot 8: Jogn & Shirley Cook Residential Low-Density (RL)
- North- Harding St. 30’ R/W. (C), unimproved

Description of Development Proposal:

The intent of this application is to support site development activities related to the proposed construction of a 3,401 s.f. dentist office building to be located in Kill Devil Hills Township, Dare County, NC. The site development plan consists of vehicular access, parking and associative drainage & utility infrastructure improvements in support of the proposed application, (see attached sheet with tabular coverage breakdown). Currently, the subject property is unimproved, with double frontage with the main access via Martin St. to the south, and frontage along Blue Jay St. which is currently unimproved to the east.

Proposed Disturbed Acreage: 25,000 s.f.

“404” Wetland Acreage: 0 ac.

Proposed Wetland Impacts: None

Development Standards Required and Proposed:

The subject property lies within Kill Devil Hills Township, Dare County, North Carolina, within the Commercial zoning district. Professional Offices are a permitted development use, as defined in the Town of Kill Devil Hills Code of Ordinances. The following describes how the provisions of the ordinance are being applied with this proposal;

1. Minimum Building Setbacks:
 - a. Front yard: 30 feet.
 - b. Side yard: 10 feet (west)
 - c. Side yard: 15 feet (east)
 - d. Rear yard: 30 feet.

2. Lot Development Coverage:
 - Buildings: 3,401 s.f.
 - Vehicular Drive Area: 4,525 s.f.
 - Permeable pavers (60% lot coverage reduction): 1,295 sf
 - Concrete Walkways: 759 s.f.
 - Dumpster Pad: 60 sf
 - Total Lot Coverage: 9,903 s.f. (31.2%)
3. Proposed built-upon area coverage:
 - Buildings: 3,401 s.f.
 - Vehicular Drive Area: 4,525 s.f.
 - Permeable Pavers: 0 s.f. (permeable paver systems considered 100% pervious in accordance with NCDEQ MDC)
 - Concrete Walkways: 759 s.f.
 - Dumpster Pad: 56 sf
 - Proposed built-upon area: 8,741 s.f. (27.5%)
4. Building Elevation Information:
 - Building Finished Floor Elevation: 10.2' MSL
 - Gross Floor Area: 3570 SF
5. Maximum Building Height: 50', Proposed Building Height 35'
6. Off-Street Parking Requirements:
 - Per Table of Parking Requirements:
 - Professional Office: (1) Parking Space per 250 sf of gross floor area provided the area that would be required for parking at the ratio remain open area used for landscaping, stormwater or other use that does not create impervious area
 - Gross floor area: 3570 sf of gross floor
 - Total Number of Parking Spaces Req'd: 14.3
 - Number of Parking Spaces Proposed: (19) 10'x20' Parking Spaces, (1) ADA accessible parking stalls. Parking surface areas are comprised of asphalt surfaces.
7. Driveway Width:
 - Minimum driveway width required: 24'
 - Driveway Width provided: 24'

Soils & Land Use

The subject properties contain typical characteristics of the shrub zone landscape seen along the North Carolina Coast. The landscape exhibits the physical features of the coastal transitional zone, with transition from the broad flats of a shrub zone from the east to a gently sloping dune ridge formation to the west. The topography in the area of the proposed development is relatively flat with sparse vegetation within the interior of the lot and bordered by live oak hammocks and pines along the property perimeter. Existing surface drainage is provided by way of localized infiltration.

The development layout has been designed in a way to utilize the existing vegetative buffer and adapt the site improvements to maximize the retention of trees throughout the site. The soil types generally consist of Duckston fine sands which are described as exhibiting rapid permeability characteristics above the water table which is estimated to be 36 inches below surface. Due to the soil characteristics, the site provides the opportunity to employ infiltration devices to address flood control and a water quality component via filtration into the surrounding sandy soils.

The infiltration rate of the soil influences the volume of surface runoff that results from given storm events, (i.e. soils with high infiltration rates produce lower runoff volumes). As per the USDA, SCS, Soil Survey of Dare County, NC, the soils group within the project limits evaluated predominately consist of Duckston, type A soils group, consisting of soils with the high infiltration rates, (20 in/hr).

Stormwater Narrative:

The stormwater management system has been designed for the 10-yr, 2-hr, 4.3" rainfall design storm flood control requirement as required by the Town of Kill Devil Hills Code of Ordinances Ordinance.

The proposed impervious surfaces will primarily sheet flow overland to both a collection swale to the east and a connected infiltration basin, sited along the southern and western project boundary. Stormwater runoff from the building will be collected and dispersed via a perimeter collection system to the adjoining driveways to sheet flow into a single infiltration basin sited along the property frontage. The eastern portion of the parking area has been outfitted with a concrete curb to convey runoff, via several concrete flumes, through a sump and velocity dissipation device, and into a perimeter collection swale. Erosion control stone is proposed at all inlet points in an effort to dissipate runoff and mitigate potential erosive velocity conditions. The stormwater control measures side slopes will be broad, minimum of 3:1 horizontal to vertical side slopes, in an effort to maximize infiltration for enhanced removal efficiency.

Due to the size and nature of the proposed design, only (1) on-site contributing drainage area has been defined. With the exception of those portions of the ingress/egress drives sited within the Right-of-Way margins, all runoff generated from the proposed impervious surfaces will be directed to the stormwater management system. Stormwater system drawdown will be accomplished via infiltration with basin surface storage being sized to accommodate the minimum Town volume requirement. System components will be designed in accordance with the NCDEQ Minimum Design Criteria requirements for infiltration devices. An approved state stormwater permit is required to be submitted to the Town of Kill Devil Hills in advance of any land disturbing activities.

Please note the basin bottom elevations have been raised to create greater separation to the water table. Additional soils investigation will be performed in accordance with NCDEQ stormwater management application requirements.

Existing Development Activities: undeveloped

Project Funding: Private

River Basin: Atlantic Ocean SB

Proposed Impervious Coverage: 34.5% ±

Buffer Requirements: 100' minimum

Buffer Provided: 100' plus

Off-site runoff: NA

Site Soils: Duckston Fine Sands

Construction: A contractor for this job has yet to be determined. It is anticipated that the same contractor conducting the land-disturbing activities will also be responsible for waste related activities and disposal.

Water Distribution:

Water service to this development will be supplied via an individual water service line, estimated to be 1" in size, which will be connected to an existing watermain located along Martin Street. A copy of the Water Meter Service Sizing Form is attached hereto.

A minimum 10' lateral separation has been provided between the water service line and wastewater disposal system in accordance with the Laws and Rules for Sewage Treatment and Disposal Systems (15A NCAC 18A.1900).

Waste Water:

Sanitary sewage will be collected, and conveyed to a proposed on-site wastewater systems that will serve the proposed dentist building. A 999 gallons per day low-pressure pipe engineered wastewater system design has been reviewed and approved by the Dare County Health Department. A copy of the permit approval is attached with this package.

Utilities:

Services for Underground Power, (NC Dominion Power), Cable (Charter), and telephone (Brightspeed) will be extended to serve the subject properties. Final locations of these services will typically be determined by the service providers. An exterior lighting design with photometry is included with this submission. All outdoor lighting shall be designed, installed and lighting levels maintained in accordance with 153-074, Lighting of the Town Code of Ordinances.

Solid Waste:

An on-site dumpster located on a concrete pad with associative screening is included on the Site Development Plan, (Sheet C2) and associative construction details noted on Sheet C5.

Ingress/Egress/Loading:

This application proposes one point of ingress/egress to the subject property. The primary entrance is via a connection to Martin St., which runs along the property frontage to the south. No site-specific loading zone has been provided with this application. The frequency and type of deliveries to support the business operation will be such that a 10'x20' parking stall can be utilized for this purpose.

Stormwater Management Calculations



May 5, 2024

A handwritten signature in black ink, appearing to read "David M. Ryan", written over a horizontal line.

Rational Method Runoff Calculations

10-yr 2-hr Design Storm Event

4.3 in. total rainfall

Post-Development Conditions

Total Lot Area 31,751 sf = 0.73 ac.

Impervious Surfaces

Structure w/decks 3,401 sf = 0.08 ac.

Concrete drives and parking 4,525 sf = 0.10 ac.

Permeable pavers 3,237 sf = 0.07 ac.

Concrete walkway & dumpster pad 819 sf = 0.02 ac.

Total 11,982 sf = 0.28 ac.

Rational Method Runoff Coefficients

Type of Surface	C Factor
For all watertight roof surfaces	0.75 to 0.95
For asphalt pavements	0.80 to 0.95
For concrete pavements	0.70 to 0.90
For gravel pavements	0.35 to 0.70
Permeable pavement	0.25 to 0.60
*For impervious soils (heavy)	0.40 to 0.65
*For impervious soils, with turf	0.30 to 0.55
*For slightly pervious soils	0.15 to 0.40
*For slightly pervious soils, with turf	0.10 to 0.30
*For moderately pervious soils	0.05 to 0.20
*For moderately pervious soils, with turf	0.00 to 0.10

*For slopes from 1% to 2%

Coefficient Calculations

Impervious Surfaces

Area/Coefficient

Structure w/decks 3,401 s.f.

Equivalent Runoff Coefficient 0.95

Concrete drives and parking 4,525 s.f.

Equivalent Runoff Coefficient 0.90

Permeable pavers 3,237 s.f.

Equivalent Runoff Coefficient 0.40

Concrete sidewalk and dumpster pad 819 s.f.

Equivalent Runoff Coefficient 0.90

Residual Lawn Area 19,769 s.f.

Equivalent Runoff Coefficient 0.10

$C_{av} = \frac{(3401 \times 0.95) + (4750 \times 0.95) + (3230 \times 0.6) + (859 \times 0.9) + (19438 \times 0.1)}{31,678 \text{ sf}}$ 0.36

31,678 sf

$Q_p = CIA$

C = 0.36

I = 2.15 in/hr

A = 0.73 ac.

$Q_p = CIA = 0.5583 \text{ cfs}$

Design Storm Event Duration 2.0 hrs.

Post-Development Runoff Volume Required = $Q_p \times \text{time}$ 4,020 cf

Post-Development Runoff Volume Provided= 4,035 cf O.K.

Project 1

Partner for Contact:
Order No.:
Company:
Customer No.:

Date: 05 / 05 / 2024
Operator:



Operator
Telephone
Fax
e-Mail

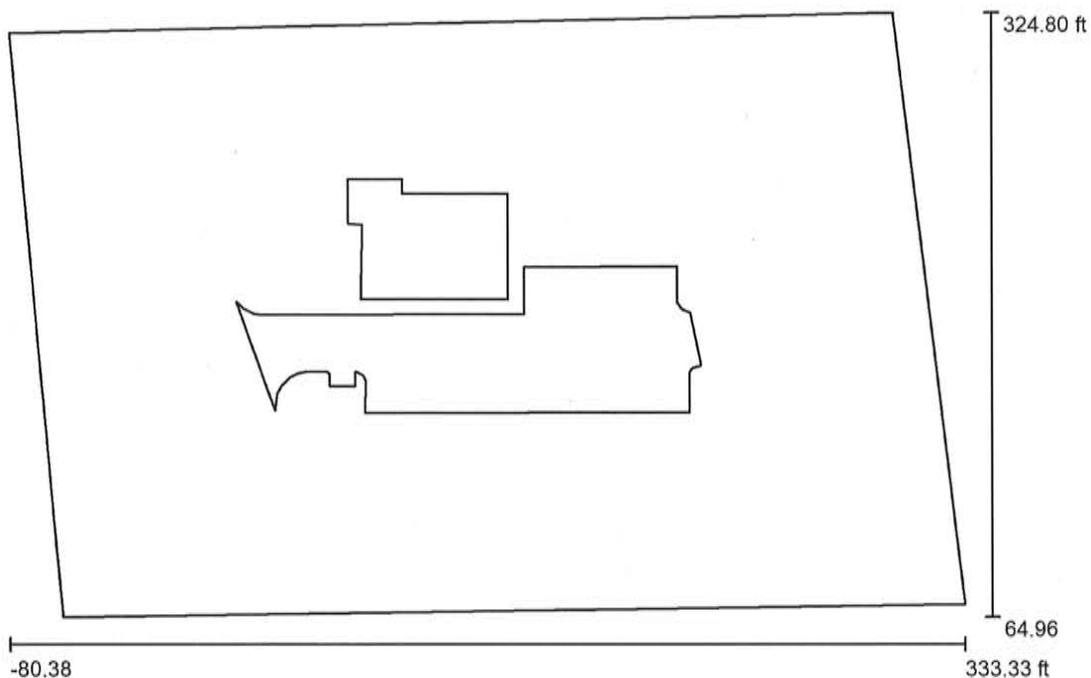
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Operator
Telephone
Fax
e-Mail

Exterior Scene 1 / Planning data



Light loss factor: 0.80, ULR (Upward Light Ratio): 3.5%

Scale 1:902

Luminaire Parts List

No.	Pieces	Designation (Correction Factor)	Φ (Luminaire) [lm]	Φ (Lamps) [lm]	P [W]
1	6	990106 solar light (1.000)	16347	19637	100.1
			Total: 98081	Total: 117824	600.6

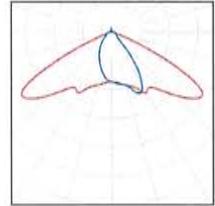


Operator
Telephone
Fax
e-Mail

Exterior Scene 1 / Luminaire parts list

6 Pieces 990106 solar light
Article No.: 990106
Luminous flux (Luminaire): 16347 lm
Luminous flux (Lamps): 19637 lm
Luminaire Wattage: 100.1 W
Luminaire classification according to CIE: 97
CIE flux code: 52 89 98 97 83
Fitting: 1 x Philips 3030 he (Correction Factor 1.000).

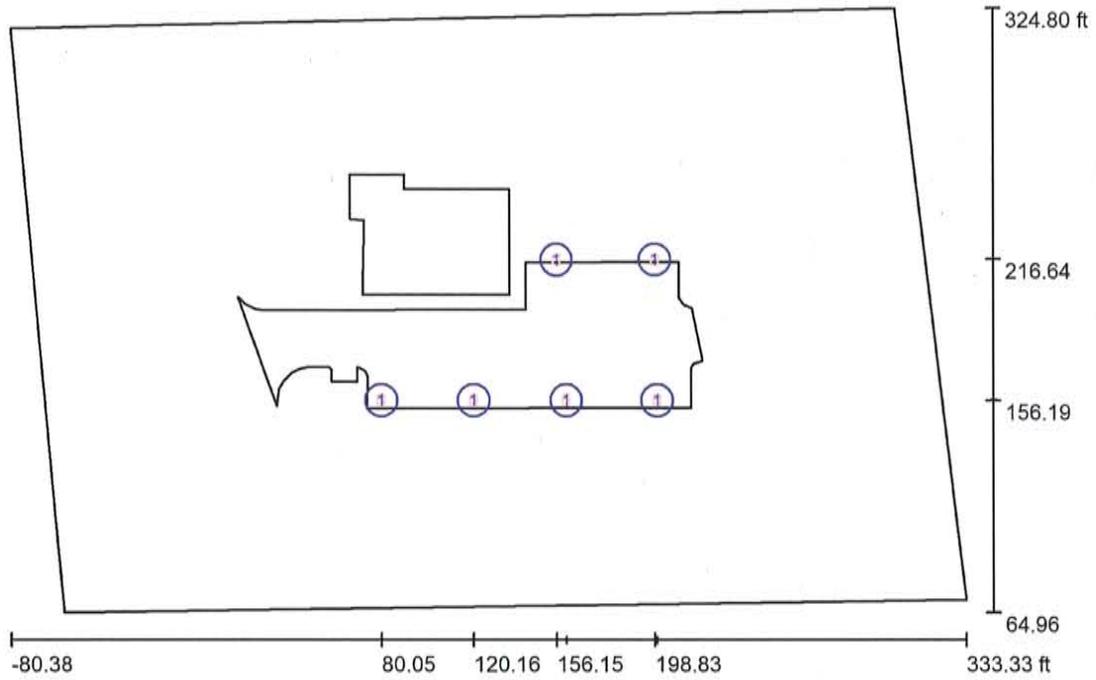
See our luminaire catalog for an image of the luminaire.





Operator
Telephone
Fax
e-Mail

Exterior Scene 1 / Luminaires (layout plan)



Scale 1 : 902

Luminaire Parts List

No.	Pieces	Designation
1	6	990106 solar light

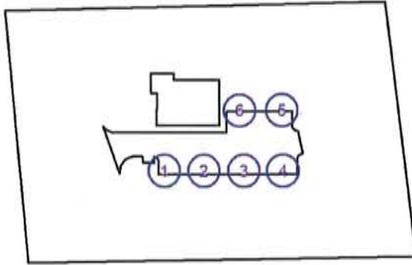


Operator
Telephone
Fax
e-Mail

Exterior Scene 1 / Luminaires (coordinates list)

990106 solar light

16347 lm, 100.1 W, 1 x 1 x Philips 3030 he (Correction Factor 1.000).

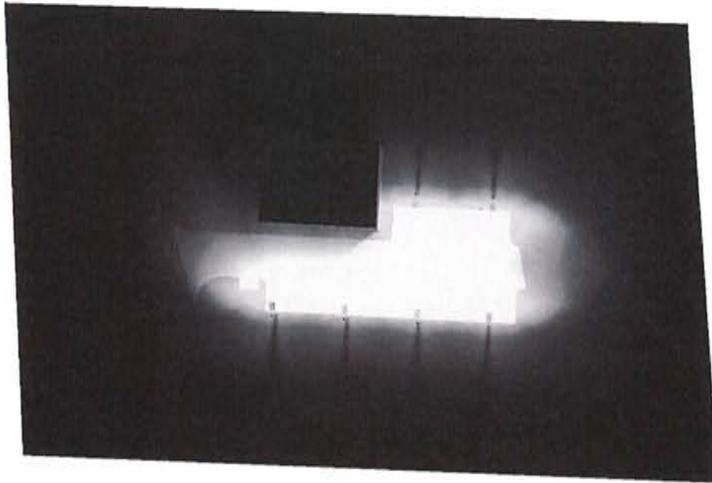


No.	Position [ft]			Rotation [°]		
	X	Y	Z	X	Y	Z
1	80.052	156.245	20.000	0.0	25.0	-90.0
2	120.155	156.188	20.000	0.0	25.0	-90.0
3	160.431	156.245	20.000	0.0	25.0	-90.0
4	199.801	156.245	20.000	0.0	25.0	-90.0
5	198.825	216.766	20.000	0.0	25.0	90.1
6	156.147	216.643	20.000	0.0	25.0	90.1



Operator
Telephone
Fax
e-Mail

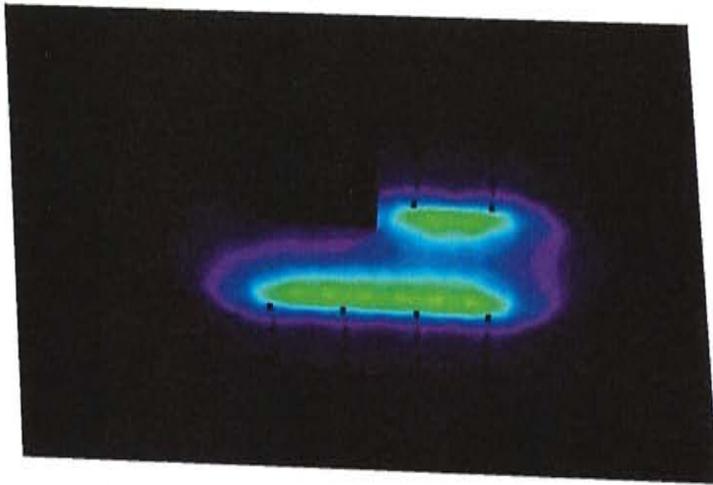
Exterior Scene 1 / 3D Rendering





Operator
Telephone
Fax
e-Mail

Exterior Scene 1 / False Color Rendering



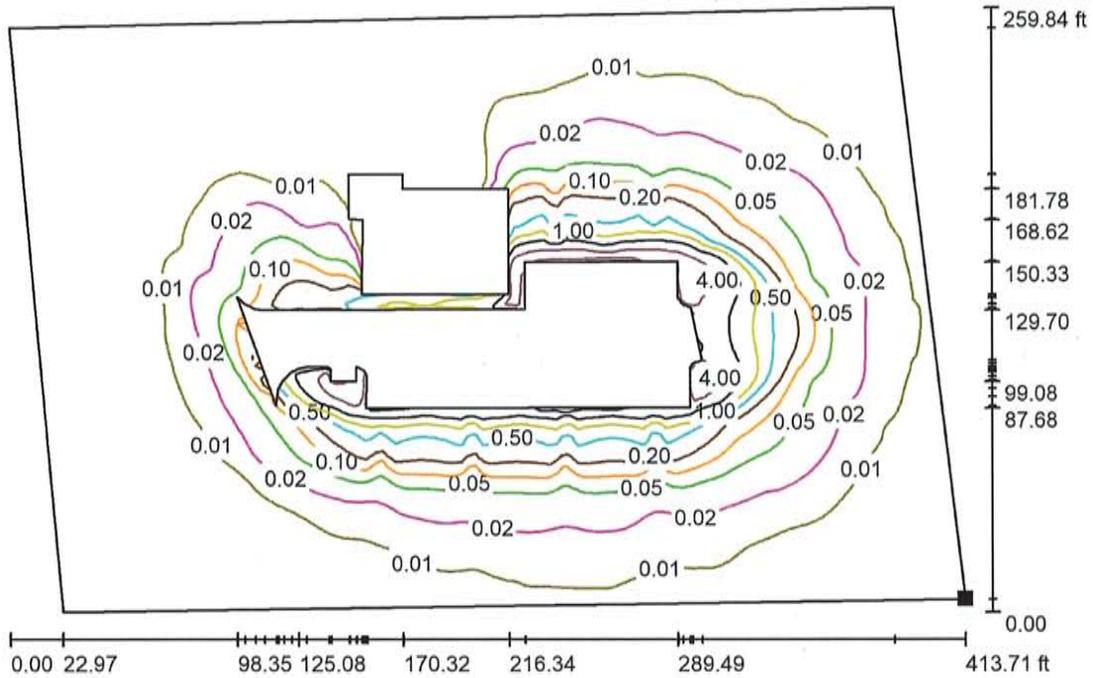
0 2.50 5.00 7.50 10.00 12.50 15.00 17.50 20.00

fc



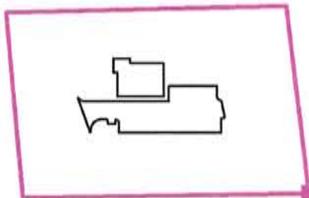
Operator
Telephone
Fax
e-Mail

Exterior Scene 1 / Ground Element 3 / Surface 1 / Isolines (E)



Values in Footcandles, Scale 1 : 902

Position of surface in external scene:
Marked point:
(333.329 ft, 70.537 ft, 0.000 ft)



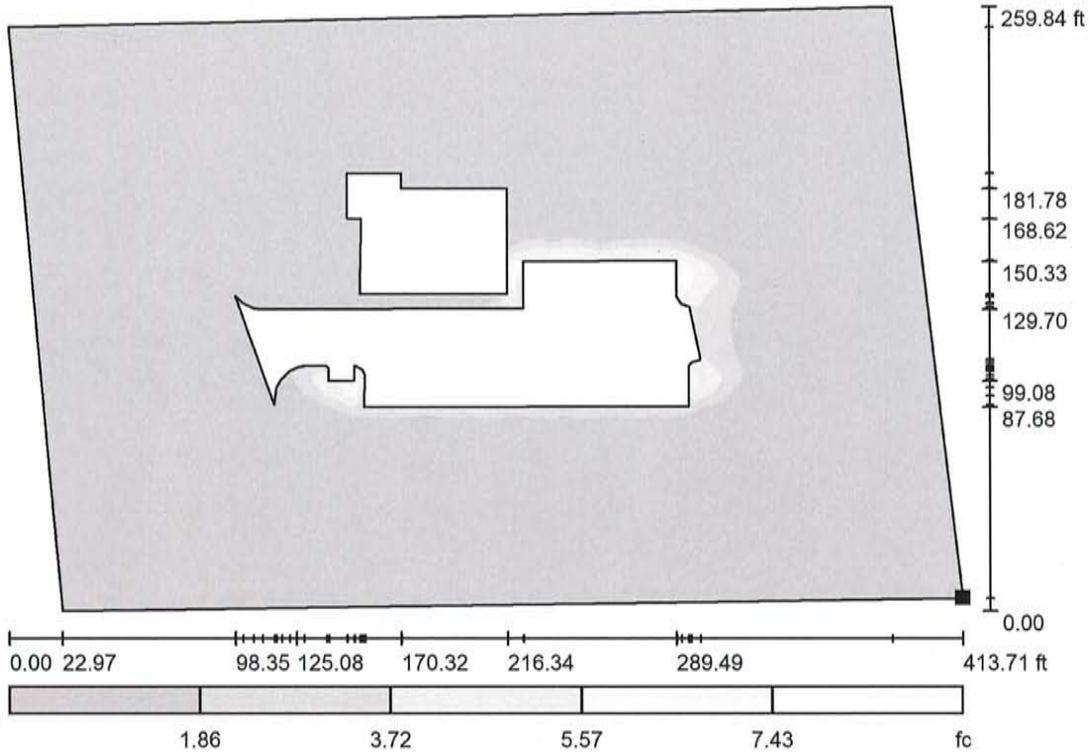
Grid: 128 x 128 Points

E_{av} [fc]	E_{min} [fc]	E_{max} [fc]	u_0	E_{min} / E_{max}
0.22	0.00	7.84	0.000	0.000



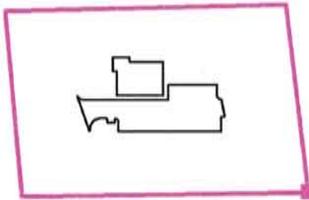
Operator
Telephone
Fax
e-Mail

Exterior Scene 1 / Ground Element 3 / Surface 1 / Greyscale (E)



Scale 1 : 902

Position of surface in external scene:
Marked point:
(333.329 ft, 70.537 ft, 0.000 ft)



Grid: 128 x 128 Points

E_{av} [fc]
0.22

E_{min} [fc]
0.00

E_{max} [fc]
7.84

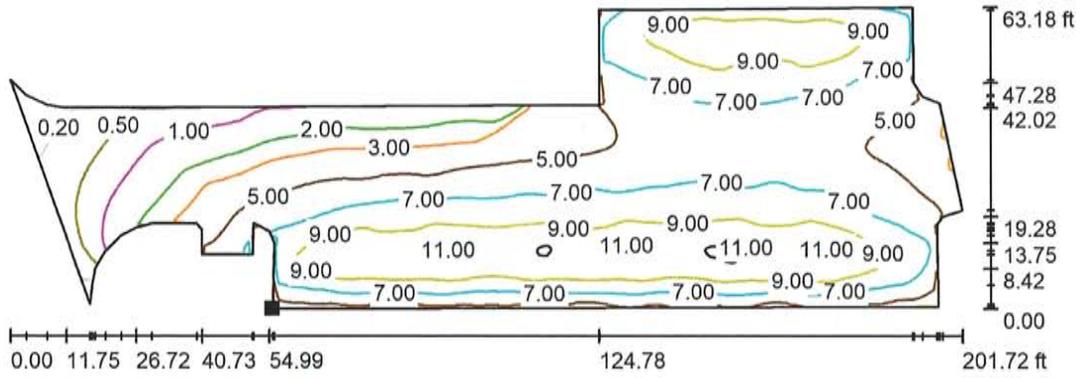
u_0
0.000

E_{min} / E_{max}
0,000



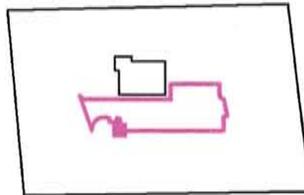
Operator
Telephone
Fax
e-Mail

Exterior Scene 1 / Ground Element 1 // Isolines (E)



Values in Footcandles, Scale 1 : 440

Position of surface in external scene:
Marked point:
(73.648 ft, 152.641 ft, 0.000 ft)



Grid: 128 x 128 Points

E_{av} [fc]
6.19

E_{min} [fc]
0.07

E_{max} [fc]
11

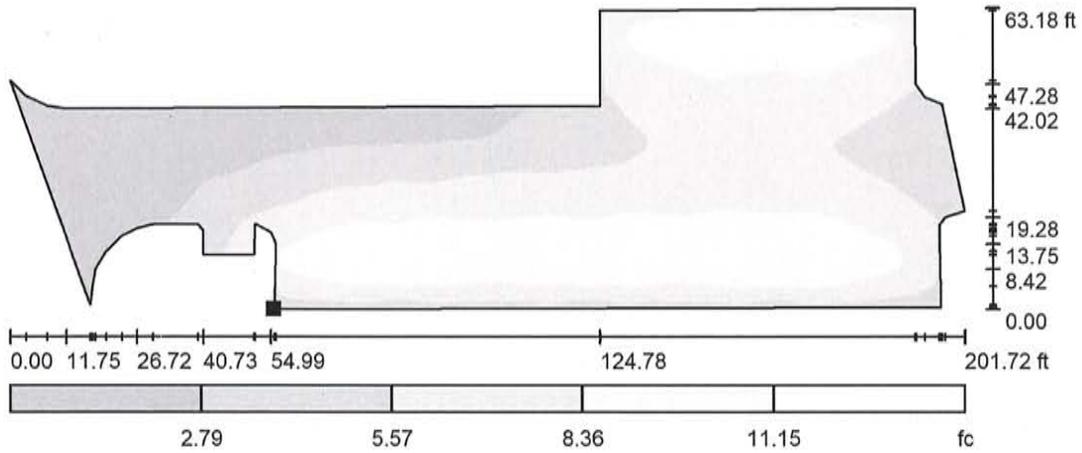
u_0
0.011

E_{min} / E_{max}
0.006



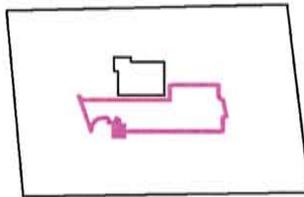
Operator
Telephone
Fax
e-Mail

Exterior Scene 1 / Ground Element 1 // Greyscale (E)



Scale 1 : 440

Position of surface in external scene:
Marked point:
(73.648 ft, 152.641 ft, 0.000 ft)



Grid: 128 x 128 Points

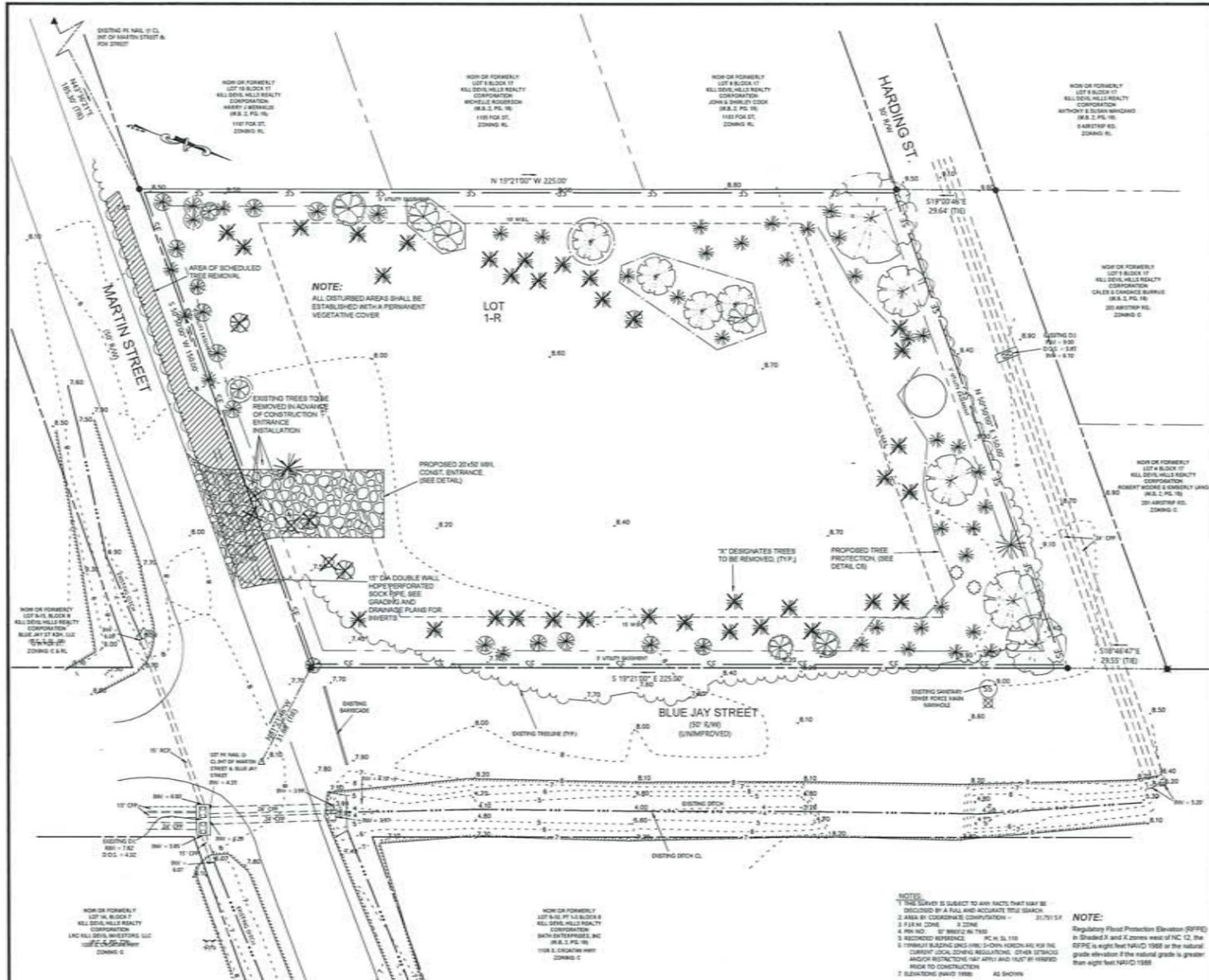
E_{av} [fc]
6.19

E_{min} [fc]
0.07

E_{max} [fc]
11

u_0
0.011

E_{min} / E_{max}
0.006



EROSION CONTROL SCHEDULE

CONSTRUCTION ACTIVITY

CONSTRUCTION ACCESS: FIRST LAND-DISTURBING ACTIVITY: STABLE BARE AREAS IMMEDIATELY WITH GRAVELS & TEMPORARY VEGETATION AS CONSTRUCTION TAKES PLACE

CONSTRUCTION ROUTES: EQUIPMENT TRAILING AREAS

SEDIMENT TRAPS & BARRIERS: BARRIERS, SEDIMENT TRAPS, SEDIMENT FENCES & OUTLET PROTECTION

RUNOFF CONTROL: DIVERGENT PERIMETER DIKES, WATER BARS, AND OUTLET PROTECTION

RUNOFF CONVEYANCE SYSTEMS: STABLE STRAIN-BANKS, STORM DRAIN, CHANNELS, INLET & OUTLET PROTECTION, SLOPE DRAINS

LAND CLEARING & GRADING: SITE PREPARATION, CUTTING, FILLING & GRADING, VEGETATION TRIMMING, BARRIERS, DIVERGENT TRAPS, SURFACE ROUGHENING

SURFACE STABILIZATION: TEMPORARY & PERMANENT SEEDING, MULCHING, SOODING, RRAP

BUILDING CONSTRUCTION: BUILDINGS, UTILITIES, PAVING

LANDSCAPING & FINAL STABILIZATION: TOPSOILING, TREES & SHRUBS, PERMANENT SEEDING, MULCHING, SOODING, RRAP

LAND GRADING CONSTRUCTION SPECIFICATIONS

1. CONSTRUCT & MAINTAIN ALL EROSION & SEDIMENTATION CONTROL PRACTICES & MEASURES IN ACCORDANCE WITH THE APPROVED SEDIMENTATION CONTROL PLAN AND CONSTRUCTION SCHEDULE
2. REMOVE GOOD TOPSOIL FROM AREAS TO BE GRADED AND REPILE IT FOR USE IN FINISHING THE GRADING OF ALL CRITICAL AREAS
3. SCARIFY AREAS TO BE TOPSOILED TO A MINIMUM DEPTH OF 2 INCHES BEFORE PLACING TOPSOIL
4. CLEAR & GRUB AREAS TO BE FILLED TO REMOVE TREES, VEGETATION, ROOTS, OR OTHER OBSTRUCTIONABLE MATERIAL THAT WOULD AFFECT THE PLANNED STABILITY OF FILL
5. ENSURE THAT FILL MATERIAL IS FREE OF BRUSH, RUBBER, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER MATERIALS INAPPROPRIATE FOR CONSTRUCTING STABLE FILLS
6. PLACE ALL FILL IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS AND COMPACT THE LAYERS AS REQUIRED TO REDUCE BULGING, SETTLEMENT, OR OTHER RELATED PROBLEMS
7. DO NOT INCORPORATE EXCESS MATERIAL OR SOFT MUCK, OR HIGHLY COMPRESSIBLE MATERIALS INTO FILL TOPPES
8. DO NOT PLACE FILL ON A FROZEN FOUNDATION DUE TO POSSIBLE SUBSIDENCE AND SURGE
9. KEEP DIVERSIONS AND OTHER WATER CONVEYANCE MEASURES FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT
10. HANDLE SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION IN ACCORDANCE WITH APPROVED METHODS
11. PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 7 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING AND A PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 13 WORKING DAYS OR 90 CALENDAR DAYS WHICHEVER IS SHORTER FOLLOWING COMPLETION OF CONSTRUCTION OR OTHER ACTIVITY
12. PROVIDE ADEQUATE PROTECTION FROM EROSION FOR ALL TOPSOIL, STOCKPILES, BORROW AREAS AND SPOIL AREAS

MAINTENANCE

PERIODICALLY CHECK ALL GRADED AREAS & THE SUPPORTING EROSION & SEDIMENTATION CONTROL PRACTICES AT A MINIMUM OF ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN HALF AN INCH. PROMPTLY REMOVE ALL SEDIMENT FROM DIVERSIONS AND OTHER WATER-DISPOSAL PRACTICES IF WASHOUTS OR BREAKS OCCUR. REPAIR THEM IMMEDIATELY. PROMPT MAINTENANCE OF SLOPE-GROOVED AREAS BEFORE THEY BECOME SIGNIFICANT GULLIES IS AN ESSENTIAL PART OF AN EFFECTIVE EROSION & SEDIMENTATION CONTROL PLAN. IMMEDIATE CORRECTIVE ACTION MUST BE TAKEN FOR ANY DEVICE FAILURE. IF SEDIMENT HAS BEEN OBSERVED TO HAVE BEEN DEPOSITED IN A STREAM OR WETLAND, THE DIVISION OF WATER QUALITY MUST BE NOTIFIED WITHIN 24 HOURS AND A WRITTEN NOTICE PROVIDED WITHIN 5 DAYS.

PORTABLE TOILETS

1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

TEMPORARY SEEDING SPECIFICATIONS

SEEDING DATES: AUGUST 15 TO DECEMBER 30
SEEDING METHOD: BROADCAST
SPECIES: BARE (BLACK)
WATER: 1/2 GALLON
SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/Acre ANNUAL LEPTAZINE 50
AGRICULTURAL LIME/STONE AND 700 LB/Acre 10-10-10 FERTILIZER

PERMANENT SEEDING SPECIFICATIONS

SEEDING DATES: APRIL 15 TO AUGUST 15
SEEDING METHOD: STRIP
SPECIES: BARE (BLACK)
WATER: 1/2 GALLON
SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/Acre ANNUAL LEPTAZINE 50
AGRICULTURAL LIME/STONE AND 700 LB/Acre 10-10-10 FERTILIZER

SEEDING RECOMMENDATIONS FOR FALL

SEEDING DATES: AUGUST 15 TO DECEMBER 30
SEEDING METHOD: BROADCAST
SPECIES: BARE (BLACK)
WATER: 1/2 GALLON
SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/Acre ANNUAL LEPTAZINE 50
AGRICULTURAL LIME/STONE AND 700 LB/Acre 10-10-10 FERTILIZER

SEEDING RECOMMENDATIONS FOR SPRING

SEEDING DATES: APRIL 15 TO AUGUST 15
SEEDING METHOD: STRIP
SPECIES: BARE (BLACK)
WATER: 1/2 GALLON
SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/Acre ANNUAL LEPTAZINE 50
AGRICULTURAL LIME/STONE AND 700 LB/Acre 10-10-10 FERTILIZER

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> • Temporary grass seed covered with straw or other mulches and tackifiers • Hydroseeding • Rolled erosion control products with or without temporary grass seed • Appropriately applied straw or other mulch • Plastic sheeting 	<ul style="list-style-type: none"> • Permanent grass seed covered with straw or other mulches and tackifiers • Geotextile fabrics such as permanent soil reinforcement matting • Hydroseeding • Shrubs or other permanent plantings covered with mulch • Uniform and evenly distributed ground cover sufficient to restrain erosion • Structural methods such as concrete, asphalt or retaining walls • Rolled erosion control products with grass seed

SECTION E: GROUND STABILIZATION

Site Area Description	Required Ground Stabilization Timeframes	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	None	7	None
(b) High Quality Water (H2O) Zones	None	7	None
(c) Slopes steeper than 3:1	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed	7	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones
(d) Slopes 3:1 to 4:1	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones	14	-10 days for Falls Lake Watershed unless there is zero slope
(e) Areas with slopes flatter than 4:1	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones	14	-10 days for Falls Lake Watershed unless there is zero slope

NOTE: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land-disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

1 EROSION & SEDIMENT CONTROL PLAN
SCALE: 1"=20'

LINETYPE:

- EX. SOIL ROAD
- BUILDING SETBACK LINE
- CONTOUR (INDEX)
- EASEMENT
- PROPERTY LINE (ADJOINING)
- RIGHT-OF-WAY (CURRENT)
- BOUNDARY LINE
- EX. SINGLE FLOW LINE
- EX. TREE LINE
- EX. SINGLE TOP OF BANK
- EX. OVERHEAD POWER LINE
- PRO TREE PROTECTION
- PRO SILT FENCE

LEGEND

SYMBOL DESCRIPTION

- EX. PIPE
- EX. REBAR
- CALCULATED POINT
- EX. CONC. MON.
- EX. CONC. MON. SET
- EX. P/K NAIL
- WATER METER
- PHONE PEDESTAL
- CATV
- UTILITY POLE
- GUY WIRE
- FIRE HYDRANT
- ELECT. TRANS.
- EX. SPOT ELEV.

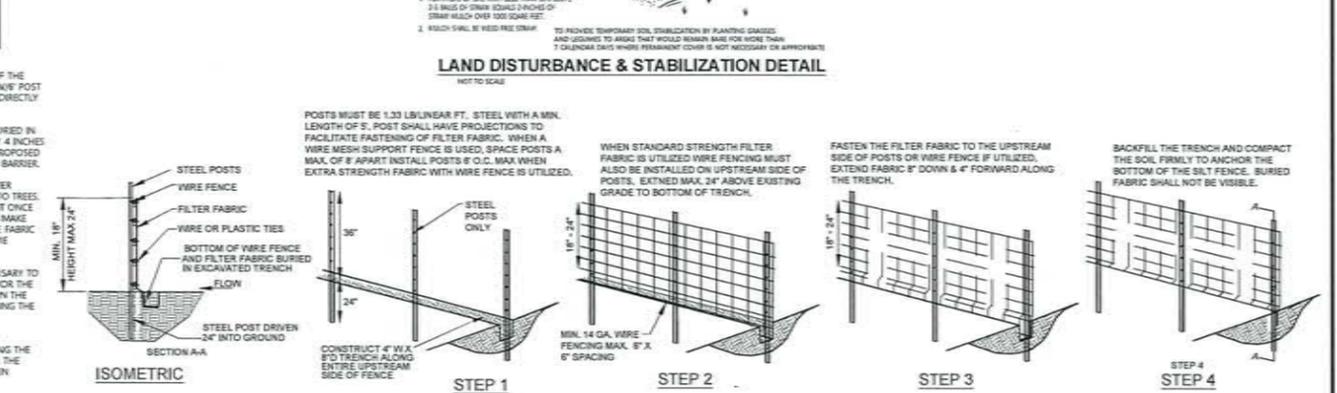
ABBREVIATIONS

APPROX.	APPROXIMATELY	MON	MONUMENT
AVG	AVERAGE	NO	NORTH
BLDG	BUILDING	NO	NUMBER
BRG	BEARING	N/S	NOT TO SCALE
CATV	CABLE TV	R	PROPERTY LINE
C	CENTERLINE	PP	POWER POLE
CONC	CONCRETE	REQ'D	REQUIRED
CONST	CONSTRUCTION	R/W	RIGHT-OF-WAY
E	EAST, ELECTRICAL	SF	SQUARE FEET/FOOT
EA	EACH	ST	STREET
ELC	ELEVATION	TEL	TELEPHONE, TANGENT, TON
ELEC	ELECTRICAL	TEMP	TEMPORARY
EGP	EDGE OF PAVEMENT	TYP	TYPICAL
EXIST	EXISTING	UG	UNDERGROUND
EXH	EXISTING	VC	VERTICAL CURVE
FEET/FOOT	FEET/FOOT	VERT.	VERTICAL
HORIZ	HORIZONTAL	WM	WATER METER
HGT	HEIGHT	W/W	WITHOUT
LF	LINEAL FOOT/FEET	&	AND
MIN	MINIMUM		
MISC	MISCELLANEOUS		

CONSTRUCTION SPECIFICATION

1. USE SYNTHETIC FILTER FABRIC OF AT LEAST 95% BY WEIGHT OF POLYPROPYLENE OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 8461. FILTER FABRIC SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 TO 120°F.
2. CONSTRUCT THE SEDIMENT BARRIER OF GEOTEX 105F EXTRA STRENGTH SYNTHETIC FILTER FABRIC, OR APPROVED EQUAL, ENSURE THAT THE HEIGHT OF THE SEDIMENT FENCE DOES NOT EXCEED 24 INCHES ABOVE THE GROUND SURFACE.
3. CONSTRUCT THE FILTER FABRIC FROM A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FILTER CLOTH ONLY AT A SUPPORT POST WITH A 4" MINIMUM OVERLAP TO THE NEXT POST.
4. SYNTHETIC FILTER FABRIC SHALL BE FASTENED SECURELY TO EACH FENCE POST WITH MIN. 50 LB TENSILE STRENGTH WIRE OR ZIP TIES AT TOP MID-SECTION AND BOTTOM. FABRIC HEIGHT SHALL BE BETWEEN 18" MIN. TO 24" MAX. ABOVE GROUND LEVEL ON THE UPSLOPE SIDE OF THE POSTS. EXTRA STRENGTH FILTER FABRIC W/IF POST SPACING SHALL BE SECURELY FASTENED DIRECTLY TO POSTS.
5. 12 INCHES OF FILTER FABRIC SHALL BE BURIED IN AN EXCAVATED TRENCH APPROXIMATELY 4 INCHES WIDE AND 8 INCHES DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER. BACKFILL TRENCH WITH MECHANICALLY COMPACTED SOIL PLACED OVER THE FILTER FABRIC. DO NOT ATTACH FILTER FABRIC TO TREES.
6. SILT FENCE SHALL BE INSPECTED AT LEAST ONCE A WEEK & AFTER EACH RAINFALL EVENT. MAKE ANY REPAIRS IMMEDIATELY. SHOULD THE FABRIC COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE REPLACE IT PROMPTLY.
7. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
8. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

NOTE: THE CONTRACTOR SHALL INDICATE TO THE ENGINEER THE SOURCE FROM WHICH FILL MATERIAL WILL BE OBTAINED FROM. THE MATERIAL SHALL BE FROM A STATE APPROVED SOURCE AND BE PROVIDED TO THE CONTRACTOR PRIOR TO COMMENCING WITH ANY ON-SITE CONSTRUCTION ACTIVITIES.



2 LEGEND, LINETYPES, & ABBREVIATIONS
SCALE: NONE

3 SEDIMENT & EROSION CONTROL NOTES & DETAIL
SCALE: NONE

PROJECT DEVELOPMENT SUMMARY:

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ENGINEER'S SEAL: NORTH CAROLINA PROFESSIONAL SEAL 030406 ENGINEER DAVID M. PYLE "Final design- for review purposes only"

PROJECT NAME: LOT 1-R KILL DEVIL HILLS REALTY CORP SUBDIVISION SAPLING LAND COMPANY, LLC KILL DEVIL HILLS TOWNSHIP, DARE COUNTY, NC

DRAWING TITLE: EXISTING CONDITIONS PLAN

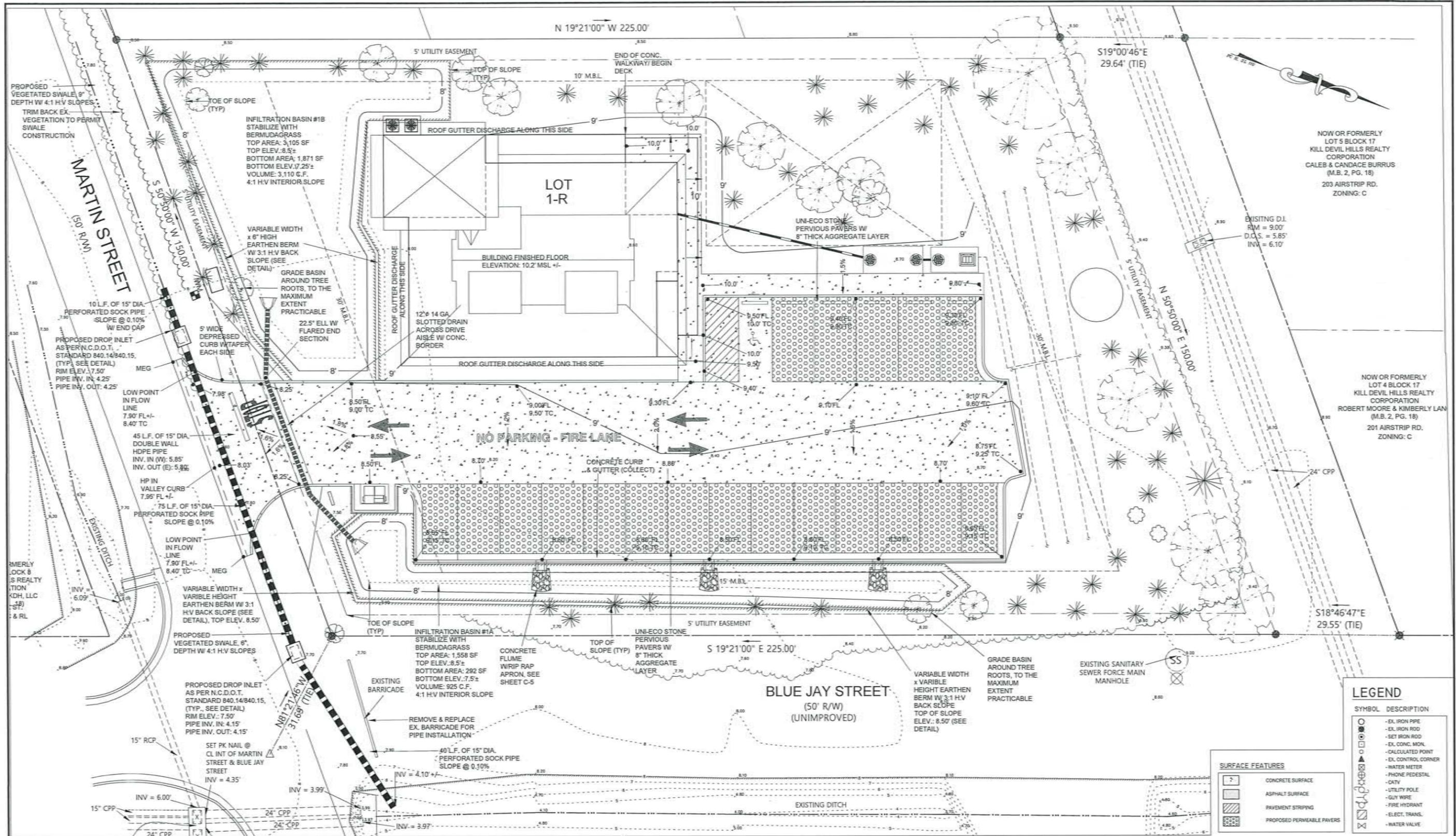
DRAWING NUMBER: C1 **SHEET NUMBER:** 1 OF 8

DATE: 5-14-14

DESIGNED: DMR

CHECKED: DMR

NO.	REVISION	DATE



NOW OR FORMERLY
LOT 5 BLOCK 17
KILL DEVIL HILLS REALTY
CORPORATION
CALEB & CANDACE BURRUS
(M.B. 2, PG. 18)
203 AIRSTRIP RD.
ZONING: C

NOW OR FORMERLY
LOT 4 BLOCK 17
KILL DEVIL HILLS REALTY
CORPORATION
ROBERT MOORE & KIMBERLY LAN
(M.B. 2, PG. 18)
201 AIRSTRIP RD.
ZONING: C

LEGEND

SYMBOL	DESCRIPTION
○	- EX. IRON PIPE
⊙	- EX. IRON ROD
⊚	- SET IRON ROD
⊛	- EX. CONC. MON.
⊜	- CALCULATED POINT
⊝	- EX. CONTROL CORNER
⊞	- WATER METER
⊟	- PHONE PEDESTAL
⊠	- CATV
⊡	- UTILITY POLE
⊢	- GUY WIRE
⊣	- FIRE HYDRANT
⊤	- ELECT. TRANS.
⊥	- WATER VALVE

SURFACE FEATURES

[Pattern]	CONCRETE SURFACE
[Pattern]	ASPHALT SURFACE
[Pattern]	PAVEMENT STRIPING
[Pattern]	PROPOSED PERMEABLE PAVERS

NUM.	REVISION	DATE
1	ADDRESS TOWN TRC COMMENTS	3/29/24

DRAWING SCALE: 1"=20'
 PROJECT NO.: P1032
 DRAWING NO.: P10390081-C3D
 DATE: 10-30-13
 DESIGNED: DMR
 CHECKED: DMR

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ENGINEER'S SEAL
 NORTH CAROLINA
 PROFESSIONAL
 SEAL
 030406
 ENGINEER
 DAVID M. RYAN
 "final design- for review purposes only"

PROJECT NAME: **LOT 1-R**
 LOT 1-R, SECTION 17
 KILL DEVIL HILLS REALTY
 CORP SUBDIVISION
 KILL DEVIL HILLS TOWNSHIP,
 DARE COUNTY, NC

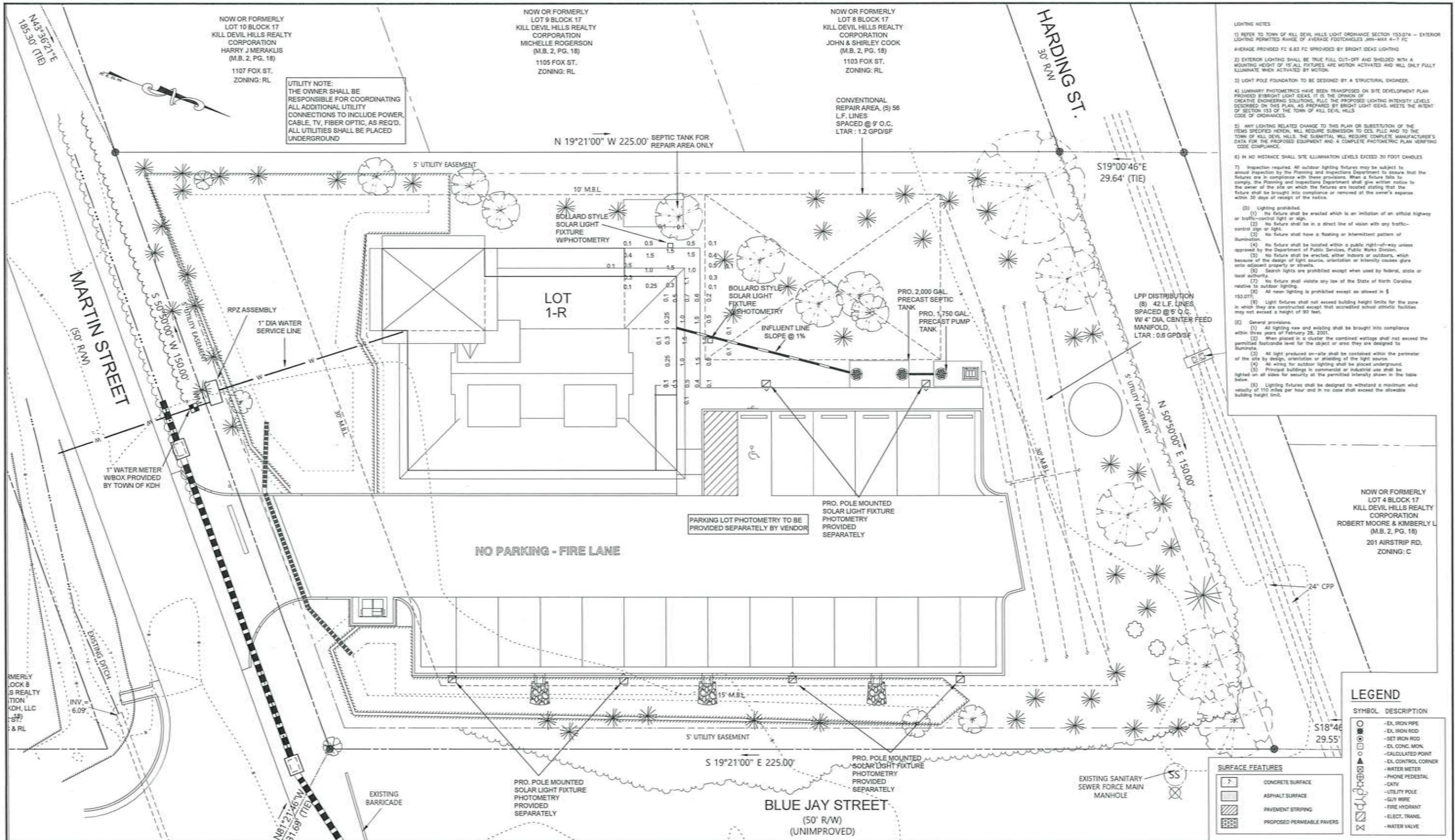
DATE: 5/6/2024

GRAPHIC SCALE: 1"=10'

DRAWING TITLE: **GRADING AND DRAINAGE PLAN**

DRAWING NUMBER: **C3**

SHEET NUMBER: **3 OF 8**



LIGHTING NOTES

- REFER TO TOWN OF KILL DEVIL HILLS LIGHT ORDINANCE SECTION 153.074 - EXTERIOR LIGHTING PERMITTED RANGE OF AVERAGE FOOTCANDLES, MIN-MAX 4-7 FC. AVERAGE PROVIDED FC 6.83 FC PROVIDED BY BRIGHT IDEAS LIGHTING
- EXTERIOR LIGHTING SHALL BE TRUE FULL CUT-OFF AND SHIELDED WITH A MOUNTING HEIGHT OF 15' ALL FIXTURES ARE MOTION ACTIVATED AND WILL ONLY FULLY ILLUMINATE WHEN ACTIVATED BY MOTION.
- LIGHT POLE FOUNDATION TO BE DESIGNED BY A STRUCTURAL ENGINEER.
- LUMINARY PHOTOMETRICS HAVE BEEN TRANSPPOSED ON SITE DEVELOPMENT PLAN PROVIDED BY BRIGHT LIGHT IDEAS. IT IS THE OPINION OF CREATIVE ENGINEERING SOLUTIONS, PLLC THE PROPOSED LIGHTING INTENSITY LEVELS DESCRIBED ON THIS PLAN, AS PREPARED BY BRIGHT LIGHT IDEAS, MEETS THE INTENT OF SECTION 153 OF THE TOWN OF KILL DEVIL HILLS CODE OF ORDINANCES.
- ANY LIGHTING RELATED CHANGE TO THIS PLAN OR SUBSTITUTION OF THE ITEMS SPECIFIED HEREIN, WILL REQUIRE SUBMISSION TO CES, PLLC AND TO THE TOWN OF KILL DEVIL HILLS. THE SUBMITTAL WILL REQUIRE COMPLETE MANUFACTURER'S DATA FOR THE PROPOSED EQUIPMENT AND A COMPLETE PHOTOMETRIC PLAN VERIFYING CODE COMPLIANCE.
- IN NO INSTANCE SHALL SITE ILLUMINATION LEVELS EXCEED 30 FOOT CANDLES
- Inspection required. All outdoor lighting fixtures may be subject to annual inspection by the Planning and Inspections Department to assure that the fixtures are in compliance with these provisions. When a fixture fails to comply, the Planning and Inspections Department shall give written notice to the owner of the site on which the fixtures are located stating that the fixture shall be brought into compliance or removed at the owner's expense within 30 days of receipt of the notice.
 - Lighting prohibited.
 - No fixture shall be erected which is an imitation of an official highway or traffic-control sign or sign.
 - No fixture shall be in a direct line of vision with any traffic-control sign or sign.
 - No fixture shall have a flashing or intermittent pattern of illumination.
 - No fixture shall be located within a public right-of-way unless approved by the Department of Public Services, Public Works Division.
 - No fixture shall be erected, either indoors or outdoors, which because of the design of light source, orientation or intensity causes glare onto adjacent property or streets.
 - Search lights are prohibited except when used by federal, state or local authority.
 - No fixture shall violate any law of the State of North Carolina relative to outdoor lighting.
 - All new lighting is prohibited except as allowed in § 153.075.
 - Light fixtures shall not exceed building height limits for the zone in which they are constructed except that accredited school athletic facilities may not exceed a height of 90 feet.
- General provisions.
 - All lighting new and existing shall be brought into compliance within three years of February 28, 2021.
 - When placed in a cluster the combined wattage shall not exceed the permitted footcandle level for the object or area they are designed to illuminate.
 - All light produced on-site shall be contained within the perimeter of the site by design, orientation or shielding of the light source.
 - All wiring for outdoor lighting shall be placed underground.
 - Principal buildings in commercial or industrial use shall be lighted on all sides for security of the permitted intensity shown in the table below.
 - Lighting fixtures shall be designed to withstand a maximum wind velocity of 110 miles per hour and in no case shall exceed the allowable building height limit.

LEGEND

SYMBOL	DESCRIPTION
○	-EX. IRON PIPE
●	-EX. IRON ROD
○	-SET IRON ROD
○	-EX. CONC. MON.
○	-CALCULATED POINT
○	-EX. CONTROL CORNER
○	-WATER METER
○	-PHONE PEDESTAL
○	-CATY
○	-UTILITY POLE
○	-GUY WIRE
○	-FIRE HYDRANT
○	-ELECT. TRANS.
○	-WATER VALVE

SURFACE FEATURES

□	CONCRETE SURFACE
□	ASPHALT SURFACE
□	PAVEMENT STRIPING
□	PROPOSED PERMEABLE PAVERS

NO.	ADDRESS TOWN TRC COMMENTS	DATE
1		3/29/24

NO.	REVISION	DATE

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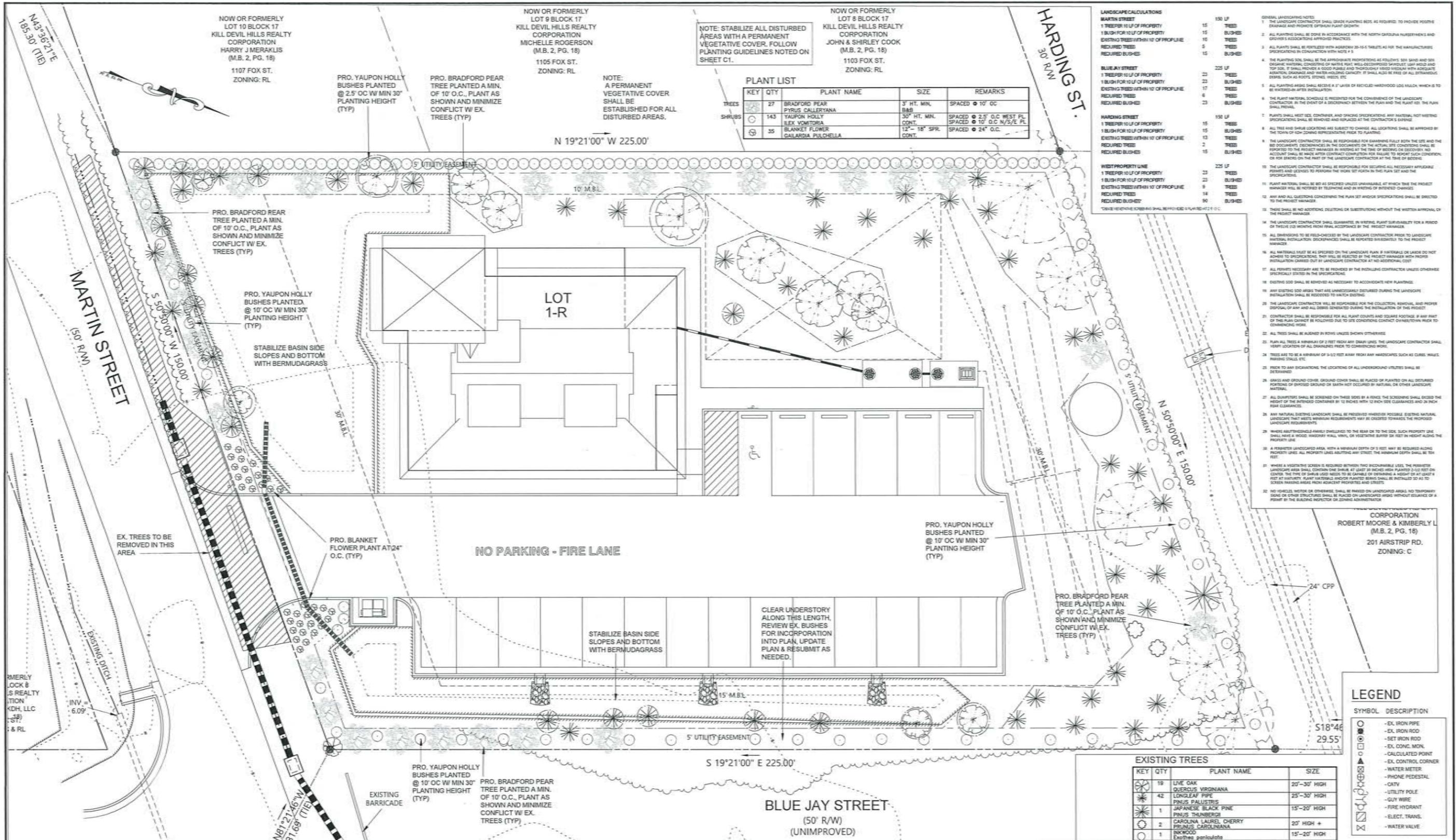
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 ENGINEER
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PROJECT NAME
LOT 1-R
 LOT 1-R, SECTION 17
 KILL DEVIL HILLS REALTY
 CORP SUBDIVISION
 KILL DEVIL HILLS TOWNSHIP,
 DARE COUNTY, NC

DATE: 5/6/2024

GRAPHIC SCALE: 1" = 30'

DRAWING TITLE	
UTILITY AND LIGHTING PLAN	
DRAWING NUMBER	SHEET NUMBER
C4	4 OF 8



NOTE: STABILIZE ALL DISTURBED AREAS WITH A PERMANENT VEGETATIVE COVER. FOLLOW PLANTING GUIDELINES NOTED ON SHEET C1.

PLANT LIST

KEY	QTY	PLANT NAME	SIZE	REMARKS
TREES	27	BRADFORD PEAR PYRUS CALLERYANA	3" HT. MIN. B&B	SPACED @ 10' O.C.
SHRUBS	143	YAUPOON HOLLY ILEX VOMITORIA	30" HT. MIN. CONT.	SPACED @ 2.5' O.C. WEST PL. SPACED @ 10' O.C. N/S/E PL.
	35	BLANKET FLOWER GALARDIA PULCHELLA	12" - 18" SPR. CONT.	SPACED @ 24" O.C.

LANDSCAPE CALCULATIONS

STREET	PLANTING	QTY	LF
MARTIN STREET	1 TREE PER 10 LF OF PROPERTY	15	150 LF
	1 BUSH FOR 10 LF OF PROPERTY	15	BUSHES
	EXISTING TREES WITHIN 10' OF PROFILE	5	TREES
	REQUIRED BUSHES	10	BUSHES
BLUE JAY STREET	1 TREE PER 10 LF OF PROPERTY	23	230 LF
	1 BUSH FOR 10 LF OF PROPERTY	23	BUSHES
	EXISTING TREES WITHIN 10' OF PROFILE	17	TREES
	REQUIRED TREES	6	TREES
HARDING STREET	1 TREE PER 10 LF OF PROPERTY	15	150 LF
	1 BUSH FOR 10 LF OF PROPERTY	15	BUSHES
	EXISTING TREES WITHIN 10' OF PROFILE	13	TREES
	REQUIRED TREES	2	TREES
WEST PROPERTY LINE	1 TREE PER 10 LF OF PROPERTY	23	230 LF
	1 BUSH FOR 10 LF OF PROPERTY	23	BUSHES
	EXISTING TREES WITHIN 10' OF PROFILE	9	TREES
	REQUIRED TREES	14	TREES
TOTAL	REQUIRED TREES	60	600 LF
	REQUIRED BUSHES	60	BUSHES

- GENERAL LANDSCAPING NOTES**
- THE LANDSCAPE CONTRACTOR SHALL GRADE PLANTING BEDS, AS REQUIRED, TO PROVIDE POSITIVE DRAINAGE AND PROTECT EXISTING PLANT STOCK.
 - ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NORTH CAROLINA NURSERIES AND GROWERS ASSOCIATION APPROVED PRACTICES.
 - ALL PLANTS SHALL BE FERTILIZED WITH APPROVED 20-10-10 FERTILIZER AS PER THE MANUFACTURER'S SPECIFICATIONS IN CONFORMANCE WITH NOTE # 3.
 - THE PLANTING SOIL SHALL BE THE APPROPRIATE PROPRIETARY MIXTURE: 50% SAND AND 50% ORGANIC MATERIAL CONSISTING OF NATIVE PEAT WELL-OCCUPIED SPHAGNUM, LIGHT SAND AND TOP SOIL. IT SHALL PROVIDE A GOOD FIBER AND THROUGHLY WEED FREE MEDIA WITH ADEQUATE AERATION, DRAINAGE AND WATER HOLDING CAPACITY. IT SHALL ALSO BE FREE OF ALL PATHOGENIC DISEASE, SUCH AS ROOTS, STEMS, WEEDS, ETC.
 - ALL PLANTING AREAS SHALL RECEIVE A 2" LAYER OF RECYCLED HARDWOOD LOGS WHICH IS TO BE REFINISHED AFTER INSTALLATION.
 - THE PLANT MATERIAL SCHEDULE IS PROVIDED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL PREVAIL.
 - PLANTS SHALL BE SET, CONTAINER AND SPACING SPECIFICATIONS ANY MATERIAL NOT LISTED SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
 - ALL TREE AND SHRUB LOCATIONS ARE SUBJECT TO CHANGE. ALL LOCATIONS SHALL BE APPROVED BY THE TOWN OF CARY CONCERNING TREE TO BE PLANTED.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND GENIUS TO PERFORM THE WORK SET FORTH IN THIS PLAN SET AND THE SPECIFICATIONS.
 - PLANT MATERIAL SHALL BE 80% SPECIES UNAVAILABLE, AT WHICH TIME THE PROJECT MANAGER WILL BE NOTIFIED BY TELEPHONE AND IN WRITING OF INTERESTED CHANGES.
 - ANY AND ALL QUESTIONS CONCERNING THE PLAN SET AND/OR SPECIFICATIONS SHALL BE DIRECTED TO THE PROJECT MANAGER.
 - TREES SHALL BE NO ADDITIONAL DRAINAGE OR SUBSTITUTIONS WITHOUT THE WRITTEN APPROVAL OF THE PROJECT MANAGER.
 - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE, IN WRITING, PLANT SURVIVABILITY FOR A PERIOD OF TWELVE (12) MONTHS FROM FINAL ACCEPTANCE BY THE PROJECT MANAGER.
 - ALL DIVERSIONS TO BE HELD-CLOSED BY THE LANDSCAPE CONTRACTOR PRIOR TO LANDSCAPE MATERIAL INSTALLATION. DISCONTINUANCES SHALL BE REPORTED IMMEDIATELY TO THE PROJECT MANAGER.
 - ALL MATERIALS MUST BE AS SPECIFIED ON THE LANDSCAPE PLAN. IF MATERIALS OR LAKES DO NOT MEET THE SPECIFICATIONS, THEY WILL BE REJECTED BY THE PROJECT MANAGER WITH PROPER INSTALLATION CARRIED OUT BY LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST.
 - ALL PERMITS NECESSARY ARE TO BE PROVIDED BY THE INSTALLING CONTRACTOR UNLESS OTHERWISE SPECIFICALLY STATED IN THE SPECIFICATIONS.
 - EXISTING SOIL SHALL BE REMOVED AS NECESSARY TO ACCOMMODATE NEW PLANTINGS.
 - ANY EXISTING SOIL AREAS THAT ARE UNNECESSARILY DISTURBED DURING THE LANDSCAPE INSTALLATION SHALL BE REJECTED TO MATCH EXISTING.
 - THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR THE COLLECTION, REMOVAL, AND PROPER DISPOSAL OF ANY AND ALL DEBRIS GENERATED DURING THE INSTALLATION OF THIS PROJECT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANT COUNTS AND SQUARE FOOTAGE. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS CONTACT OUR TOWN/PLANNING DEPARTMENT IMMEDIATELY.
 - ALL TREES SHALL BE PLANTED IN ROWS UNLESS SHOWN OTHERWISE.
 - PLANT ALL TREES A MINIMUM OF 3 FEET FROM ANY DRIVE. THE LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL DRIVEWAYS PRIOR TO COMMENCING WORK.
 - TREES ARE TO BE A MINIMUM OF 3-1/2 FEET AWAY FROM ANY HARDSCAPES SUCH AS CURBS, WALLS, FENCING, STAIRS, ETC.
 - FROM TO ANY EXCAVATIONS, THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHALL BE DETERMINED.
 - GRAVE AND GROUND COVER, GROUND COVER SHALL BE PLACED ON ALL DISTURBED PORTIONS OF EXISTING GRASS OR SOIL NOT OCCUPIED BY NATURAL OR OTHER LANDSCAPE MATERIAL.
 - ALL DRIVEWAYS SHALL BE SCREENED ON THREE SIDES BY A FENCE. THE SCREENING SHALL EXCEED THE HEIGHT OF THE EXTENDED CURBWAY BY 12 INCHES WITH 12 INCH SIDE CLEARANCES AND 24 INCH FRONT CLEARANCES.
 - ANY NATURAL EXISTING LANDSCAPE SHALL BE PRESERVED WHEREVER POSSIBLE. EXISTING NATURAL LANDSCAPE THAT MEETS MINIMUM REQUIREMENTS MAY BE CARRIED FORWARD THE PROPOSED LANDSCAPE REQUIREMENTS.
 - WHERE APPROPRIATE, FENCING IS REQUIRED TO THE REAR OR TO THE SIDE. SUCH PROPERTY LINE SHALL HAVE A WOOD BARRIER WALL, VINYL, OR VEGETATIVE BARRIER SIX FEET IN HEIGHT ALONG THE PROPERTY LINE.
 - A PERIMETER LANDSCAPED AREA, WITH A MINIMUM DEPTH OF 3 FEET, MAY BE REQUIRED ALONG PROPERTY LINES ADJACENT ANY STREET. THE MINIMUM DEPTH SHALL BE TEN FEET.
 - WHERE A VEGETATIVE SCREEN IS REQUIRED WITHIN TWO INCHES OF THE PROPERTY LINE, THE TYPE OF SCREEN SHALL BE DETERMINED BY THE PROJECT MANAGER. PLANT MATERIALS AND/OR PLANTED BERRIES SHALL BE INSTALLED AS TO OTHER MARKING MADE FROM ADJACENT PROPERTIES AND STREETS.
 - NO VEHICLES, MOTORS OR OTHERWISE, SHALL BE PLACED ON LANDSCAPED AREAS WITHOUT BALANCE OF A PERMIT BY THE BUILDING INSPECTOR OR ZONING ADMINISTRATION.

CORPORATION
ROBERT MOORE & KIMBERLY L.
(M.B. 2, PG. 18)
201 AIRSTRIP RD.
ZONING: C

LEGEND

SYMBOL	DESCRIPTION
○	EX. IRON PIPE
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○	GUY WIRE
○	FIRE HYDRANT
○	ELECT. TRANS.
○	WATER VALVE

EXISTING TREES

KEY	QTY	PLANT NAME	SIZE
○	19	LIVE OAK QUERCUS VIRGINIANA	20'-30' HIGH
○	42	LONGLEAF PINE PINUS PALUSTRIS	25'-30' HIGH
○	1	JAPANESE BLACK PINE PINUS THUNBERGII	15'-20' HIGH
○	2	CAROLINA LAUREL CHERRY PRUNUS CAROLINIANA	20' HIGH +
○	1	BIRCHWOOD EXOBRYA PUNCTATA	15'-20' HIGH

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1	ADDRESS TOWN TRC COMMENTS	3/29/24

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PROJECT NAME
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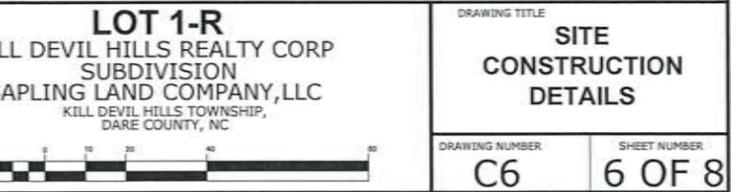
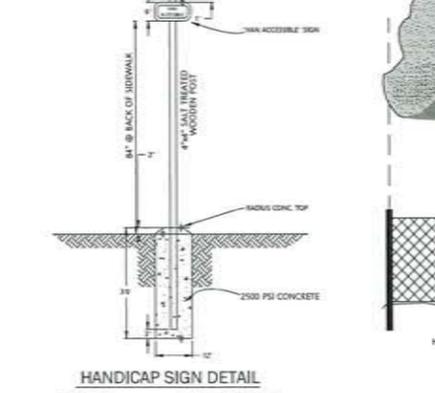
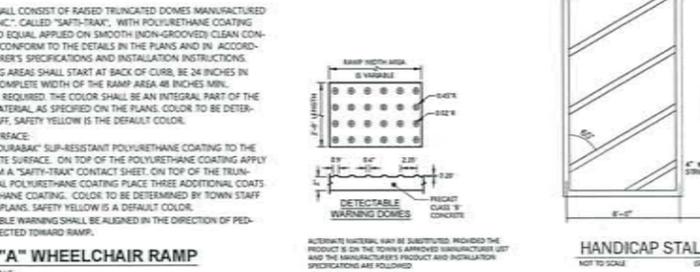
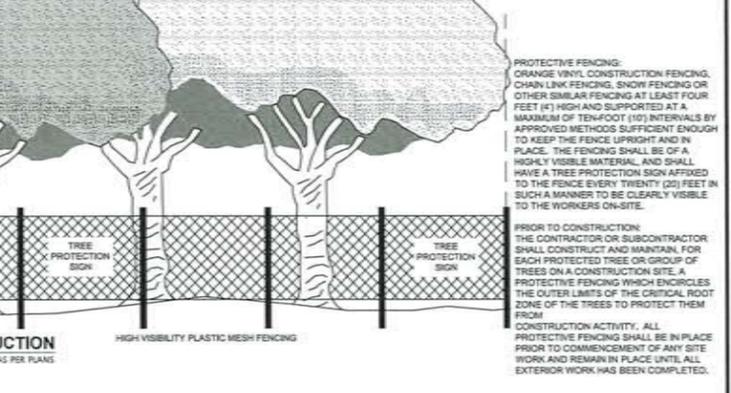
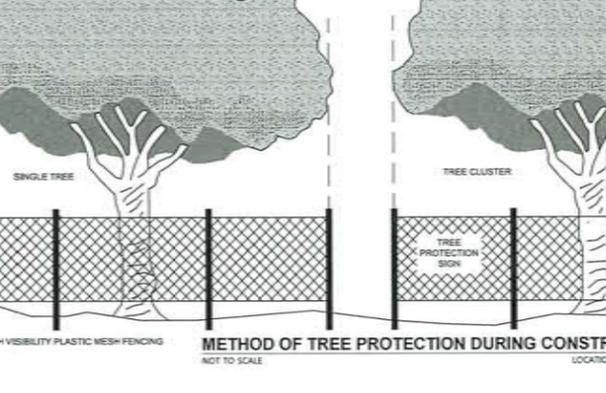
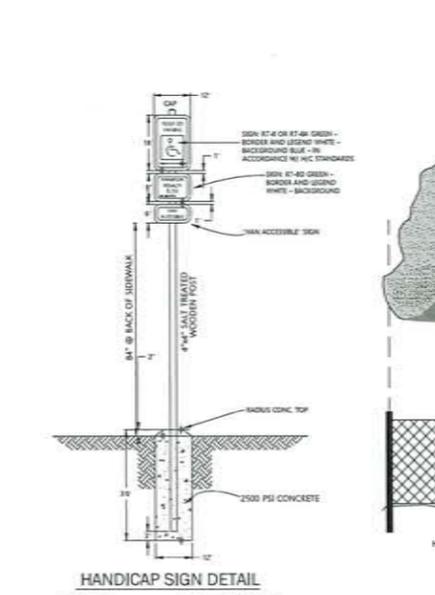
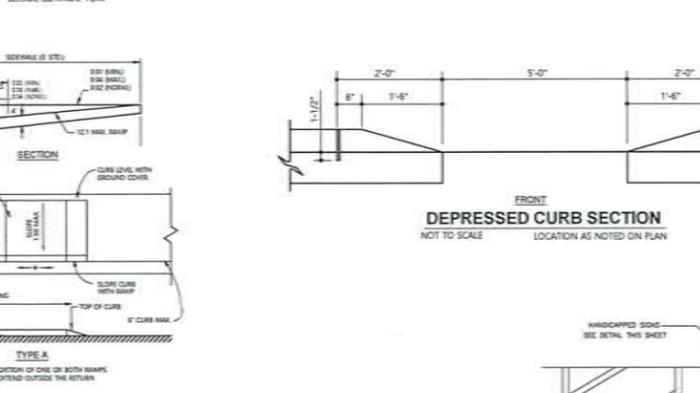
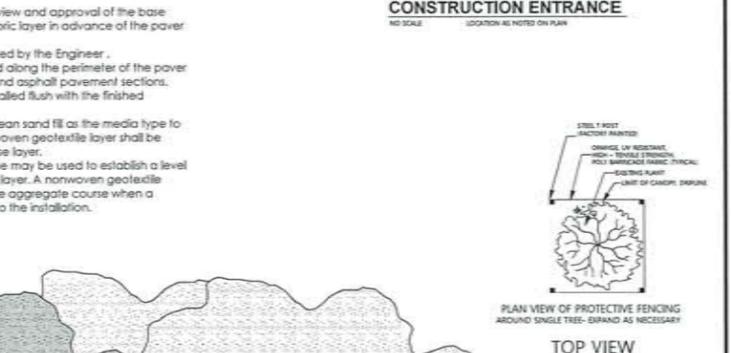
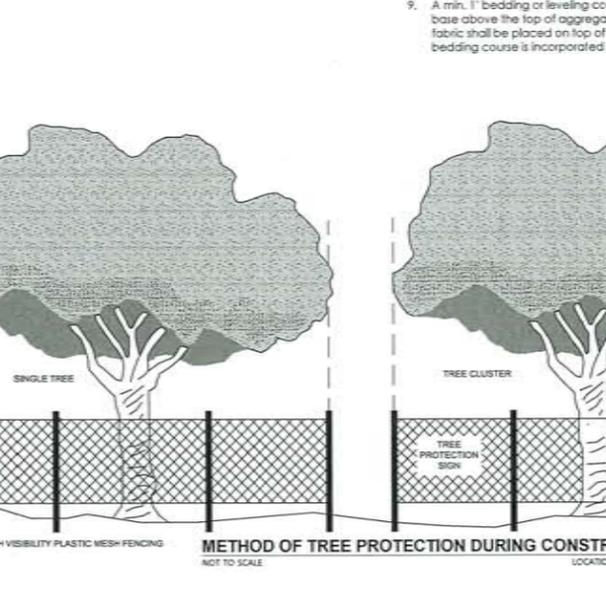
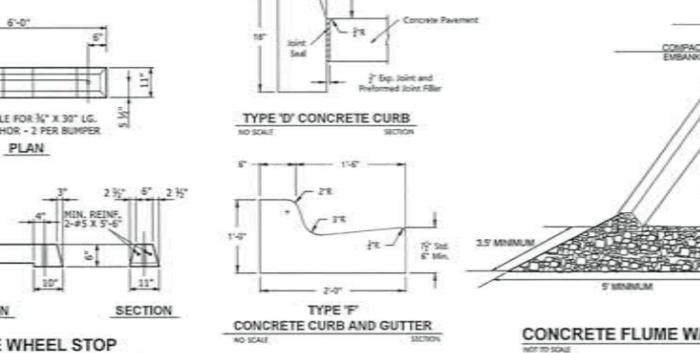
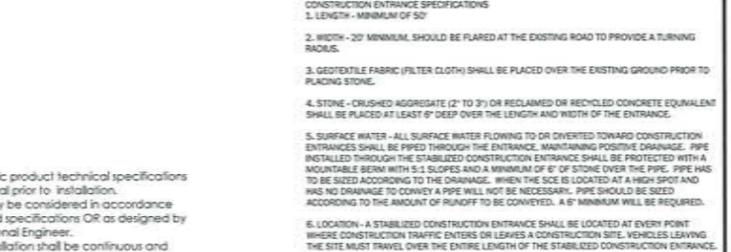
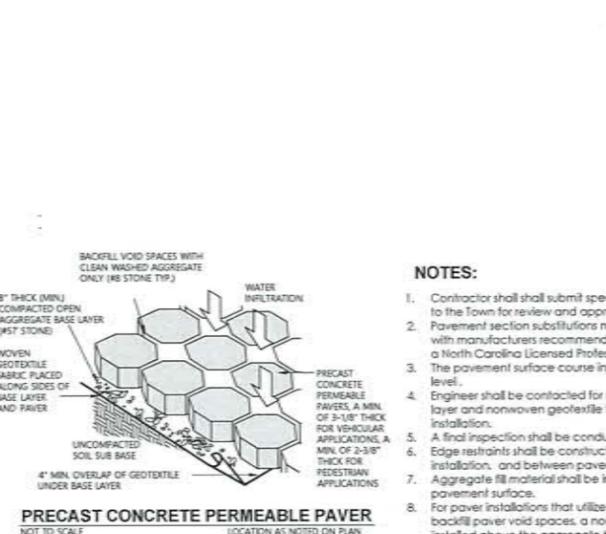
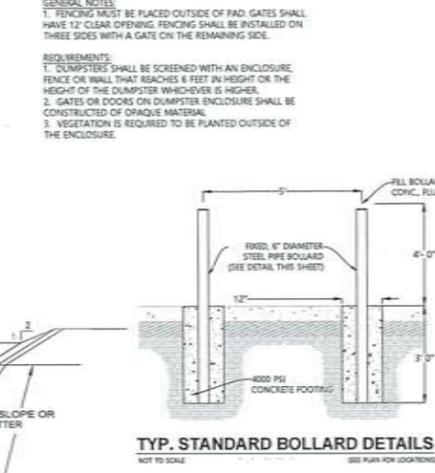
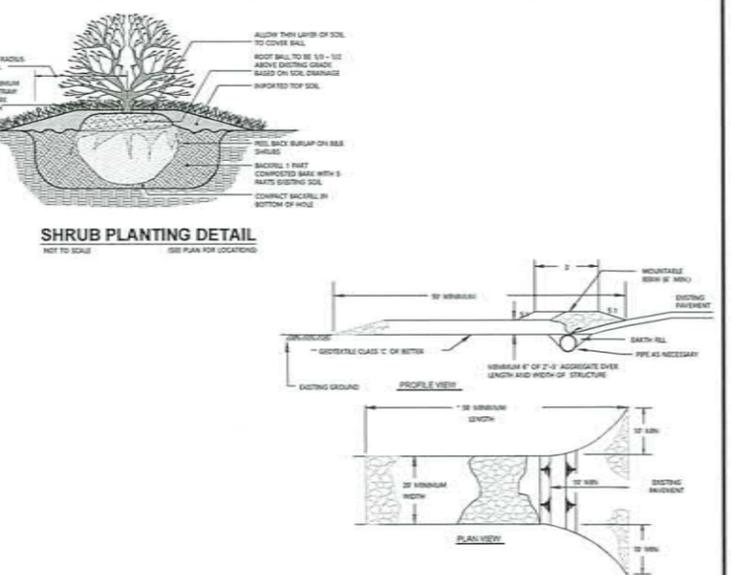
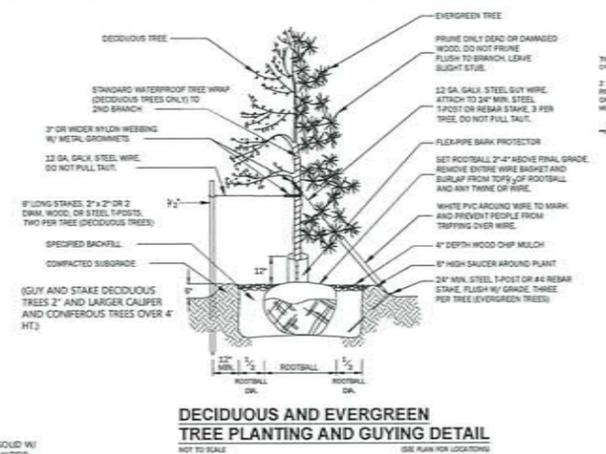
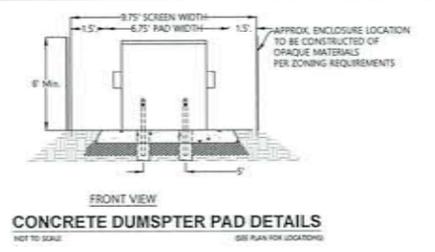
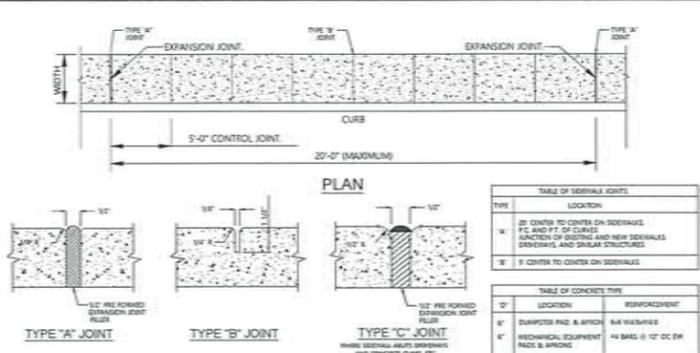
DATE: 5/6/2024

GRAPHIC SCALE: 1" = 20'

DRAWING TITLE
LANDSCAPE PLAN

DRAWING NUMBER: **C5**

SHEET NUMBER: **5 OF 8**



PROJECT DEVELOPMENT SUMMARY:

NOTE: THE INFORMATION DESCRIBED HEREON IS BELIEVED TO BE ACCURATE, COMPLETE, AND CURRENT. CES, PLLC MAKES NO WARRANTY AS TO THE ACCURACY, COMPLETENESS OR CURRENTNESS OF THE CONTENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THIS INFORMATION PRIOR TO RELYING ON IT. THE CONTENT OF THESE DOCUMENTS MAY INCLUDE TECHNICAL INACCURACIES OR TYPOGRAPHICAL ERRORS. IF SUCH CONDITIONS EXIST, THE CONTRACTOR SHALL CONSULT WITH THE ENGINEER PRIOR TO PROCEEDING WITH THE SCHEDULED WORK. UNTIL AUTHORIZATION TO PROCEED HAS BEEN GRANTED.

NUM.	REVISION	DATE

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS HALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR BRICK DROP INLET 12" THRU 30" PIPE

GENERAL NOTES:
 MORTAR JOISTS 1/2" +/- 1/4" THICK.
 USE CLASS "B" CONCRETE THROUGHOUT.
 USE FORMS FOR CONSTRUCTION OF THE BOTTOM SLAB.
 USE #4 BAR BOMELS AT 12" CENTERS.
 DEDUCT FOR PIPE(S) FROM TOTAL CU. YDS. OF BRICK MASONRY.
 PROVIDE ALL CATCH BASINS OVER 3'-0" IN DEPTH WITH STEPS 12" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.86.
 USE BRICK OR CONCRETE BLOCK WHICH COMPLIES WITH THE REQUIREMENTS OF SECTION 840 OF THE STANDARD SPECIFICATIONS.
 IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.00.
 FOR 8'-0" IN HEIGHT OR LESS, USE 8" WALL, OVER 8'-0" IN HEIGHT, USE 12" WALL TO 8'-0" FROM TOP OF WALL AND 8" WALL FOR THE REMAINING 8'-0". QUANTITIES TO BE ADJUSTED ACCORDINGLY.
 CONSTRUCT WITH PIPE CROWING BATCHING.
 SEE STANDARD DRAWING 840.25 FOR ATTACHMENT OF FRAMES AND GRATES.
 DO NOT USE BRICK MASONRY DROP INLET IN LOCATIONS SUBJECT TO TRAFFIC.
 CHAMFER ALL EXPOSED CORNERS 1".
 DRAWING NOT TO SCALE.

PIPE SIZE	SPAN	WIDTH	MIN. HEIGHT	HEIGHT	CU. YDS. CONCRETE	CU. YDS. BRICK MASONRY	DEDUCTIONS FOR ONE PIPE	C.S.	R.C.
12"	3'-0"	2'-0"	2'-0"	2'-0"	0.288	0.313	0.288	0.000	0.000
15"	3'-0"	2'-0"	2'-0"	2'-3"	0.296	0.313	0.296	0.001	0.047
18"	3'-0"	2'-0"	2'-0"	2'-6"	0.304	0.313	0.304	0.002	0.085
24"	3'-0"	2'-0"	2'-0"	3'-0"	0.368	0.313	0.368	0.078	0.113
30"	3'-0"	2'-0"	2'-0"	3'-6"	0.388	0.313	0.388	0.122	0.170

840.15

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS HALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR BRICK DROP INLET 12" THRU 30" PIPE

STANDARD STORM PIPE INSTALLATION DETAIL
 NOT TO SCALE
 (PIPE SHALL BE ADS DUAL WALL PERFORATED PIPE WITH ADS FILTER SOCK THAT MEETS THE REQUIREMENTS OF ASTM D2761)

PROPOSED ROADWAY SWALE CONSTRUCTION
 NOT TO SCALE
 LOCATION AS NOTED ON PLAN

COORDINATE W/ ENGINEER SHOULD LOCAL CONDITIONS PRESENT MINIMUM DEPTH TO BE MET.
 SWALE FLOWLINE SHALL ALIGN WITH CROWN FLOWLINE
 THIS SECTION APPLIES TO THE SWALE LENGTH ALONG THE EAST SIDE OF MEMORIAL AVE AS DENOTED ON THE PLANS.

NCDOT DROP INLET DETAIL
 NOT TO SCALE
 LOCATION AS NOTED ON PLAN

U.S. FOUNDRY & MFG. CORP.
 U.S. FOUNDRY & MFG. CORP.
 MADE IN U.S.A.
 USF 4139
 MADE IN U.S.A.
 3/8 TEXT
 RAISED 3/32 TYP.
 LEVELING PADS (8)

NOTES:
 1- GRATE DESIGNED FOR ADA REQUIREMENTS.
 2- OPEN AREA: 233 sq. in.
 3- FRAME IS REVERSIBLE.
 4- CLASSIFICATION: HEAVY DUTY

U.S. FOUNDRY & MFG. CORP.
 MEDLEY, FLORIDA

DESCRIPTION:
 USF 4139 FRAME & 8002 GRATE

MATERIAL: ASTM-A48 GRAY IRON CLASS 350
 FRAME WEIGHT: 165
 GRATE WEIGHT: 190

UNLESS OTHERWISE NOTED WEIGHT IS IN POUNDS AND APPROXIMATED

REV. DATE: 2-08-13-05
 DESCRIPTION: WAS 800411 DWG # IS NOW 8040163
 DRAWN BY: HJP
 CHECKED BY: HJP
 DATE: 8-20-05
 SHEET NO.: 2

DOWNSPOUT OUTLET DETAIL
 NOT TO SCALE
 LOCATION AS NOTED ON PLAN

Downspout, 4" Dia. Schedule 40
 Insert downspout in rear 6" min.

Downspout Hanger (BY OTHERS)

Riser unit - 6" Dia. Schedule 40 PVC (non-perforated) with 90° elbow
 Conc. splashblock
 Finished Ground

2 ft.
 Elevation 10.0'

Corrugated plastic tubing 6" diam. meeting the requirements of ASTM F 405, Heavy Duty CPT.

PEDESTRIAN FRAME AND GRATE DETAIL
 NOT TO SCALE
 LOCATION AS NOTED ON PLAN

35 3/4
 1 7/16
 1 1/2
 13/16
 24
 41 1/2

INFILTRATION BASIN TABLE

DESIGN TOP (INCH)	DESIGN TOP AREA (SQ FT)	DESIGN BOTTOM (INCH)	DESIGN BOTTOM AREA (SQ FT)	DESIGN STORAGE (CU YD)	DESIGN STORAGE (CU YD)	DESIGN STORAGE (CU YD)		
BASE #1A	8.5	1.58	1.9	292	147 X VARIES	1.6	329	7.671
BASE #1B	8.5	2.105	2.26	287	162 X VARIES	1.21	2.118	7.671

NOTE: ACCUMULATED SEDIMENT SHOULD BE REMOVED DOWN TO THE BASIN ORIGINAL DESIGN DEPTH.

TYPICAL INFILTRATION BASIN SECTION
 NOT TO SCALE
 LOCATION AS NOTED ON PLAN

NUM.	REVISION	DATE

PROJECT DEVELOPMENT SUMMARY:

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CREATIVE ENGINEERING SOLUTIONS
 CREATIVE ENGINEERING SOLUTIONS, PLLC
 PWS LICENSE: P-6976
 262 MOTHER VINEYARD RD.
 MANTO, N.C. 27554
 david@creativeengineeringsolutions.com
 www.creativeengineeringsolutions.com
 TEL: 336.475.2896
 MOBILE: 336.475.2838

ENGINEER'S SEAL
 NORTH CAROLINA PROFESSIONAL ENGINEER
 SEAL 030406
 ENGINEER
 DAVID M. RYAN

"final design- for review purposes only"

PROJECT NAME
LOT 1-R
 KILL DEVIL HILLS REALTY CORP
 SUBDIVISION
 SAPLING LAND COMPANY, LLC
 KILL DEVIL HILLS TOWNSHIP,
 DARE COUNTY, NC

5/6/2024

GRAPHIC SCALE:
 1" = 20'

DRAWING TITLE
SITE CONSTRUCTION DETAILS

DRAWING NUMBER
C7

SHEET NUMBER
7 OF 8

PROJECT NAME:
**MANER
 DENTIST
 OFFICE**
 1106 BLUE JAY STREET
 KILL DEVIL HILLS, NC

REVISIONS:	DATE:
TOWN REVIEW	3/18/24
TOWN REVISIONS	5/7/24

DRAWING NAME:
**BUILDING
 PLANS**

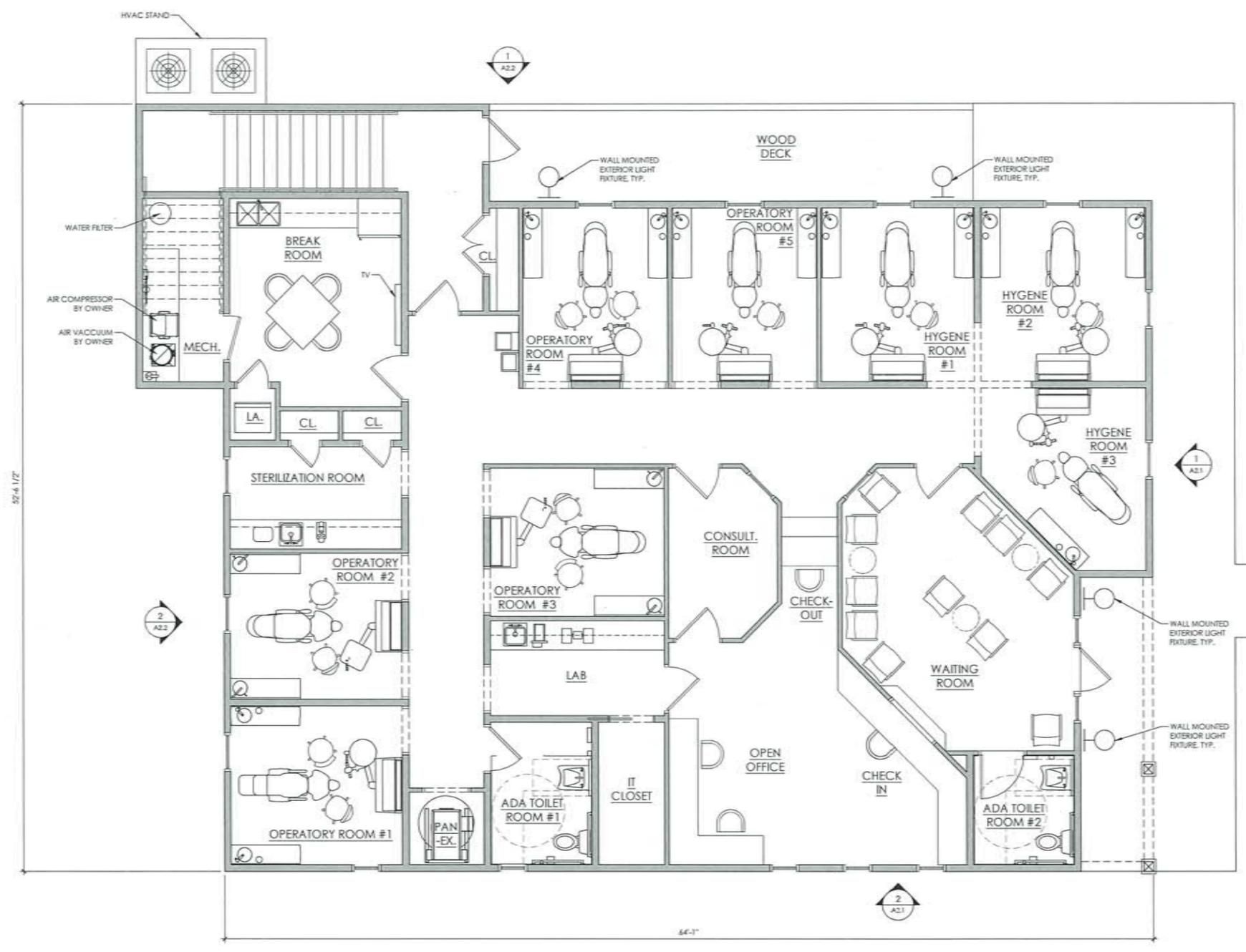
PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION:
 FOR TOWN OF KILL DEVIL HILLS
 ZONING REVIEW ONLY

DRAWN BY: CN

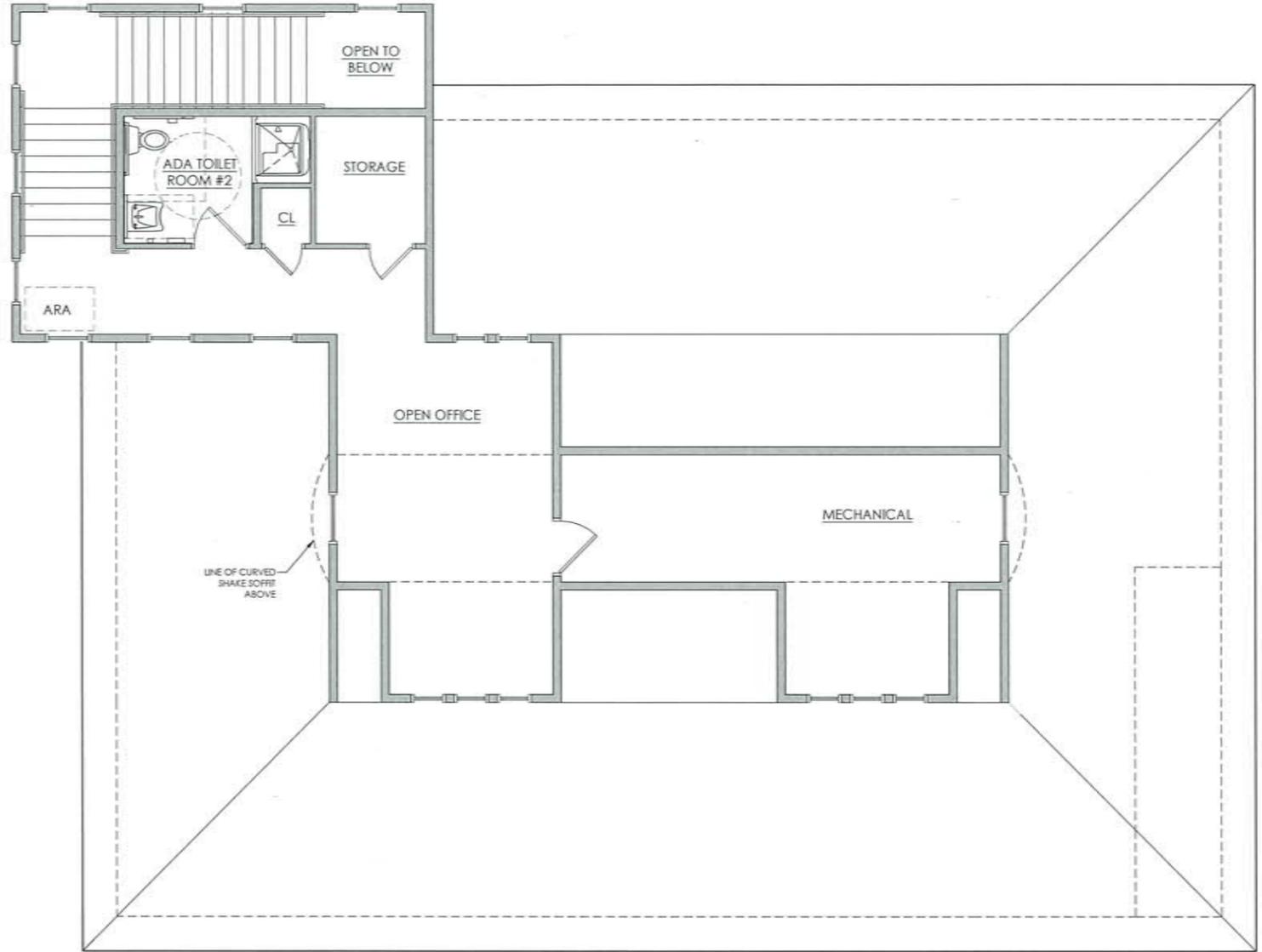
DATE: 5/7/24

SCALE: -

STAMP:
INCOMPLETE
 FOR INTERIM REVIEW
 ONLY AND NOT
 INTENDED FOR BIDDING,
 PROCUREMENT, PERMIT
 OR CONSTRUCTION
 PURPOSES.



1 FIRST FLOOR PLAN- 3,079 CONDITIONED SQUARE FEET
 SCALE: 1/4" = 1'-0"



PROJECT NAME:
**MANER
 DENTIST
 OFFICE**
 1106 BLUE JAY STREET
 KILL DEVIL HILLS, NC

REVISIONS:	DATE:
TOWN REVIEW	3 / 18 / 24
TOWN REVISIONS	5 / 7 / 24

DRAWING NAME:
**BUILDING
 PLANS**

PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION:
 FOR TOWN OF KILL DEVIL HILLS
 ZONING REVIEW ONLY

DRAWN BY: CN

DATE: 5 / 7 / 24

SCALE: -

STAMP:
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 PURPOSES.

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SHEET:
A1.3

PROJECT NAME:
**MANER
 DENTIST
 OFFICE**
 1106 BLUE JAY STREET
 KILL DEVIL HILLS, NC

REVISIONS:	DATE:
TOWN REVIEW	3 / 18 / 24
TOWN REVISIONS	5 / 7 / 24

DRAWING NAME:
**BUILDING
 PLANS**

PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION:
 FOR TOWN OF KILL DEVIL HILLS
 ZONING REVIEW ONLY

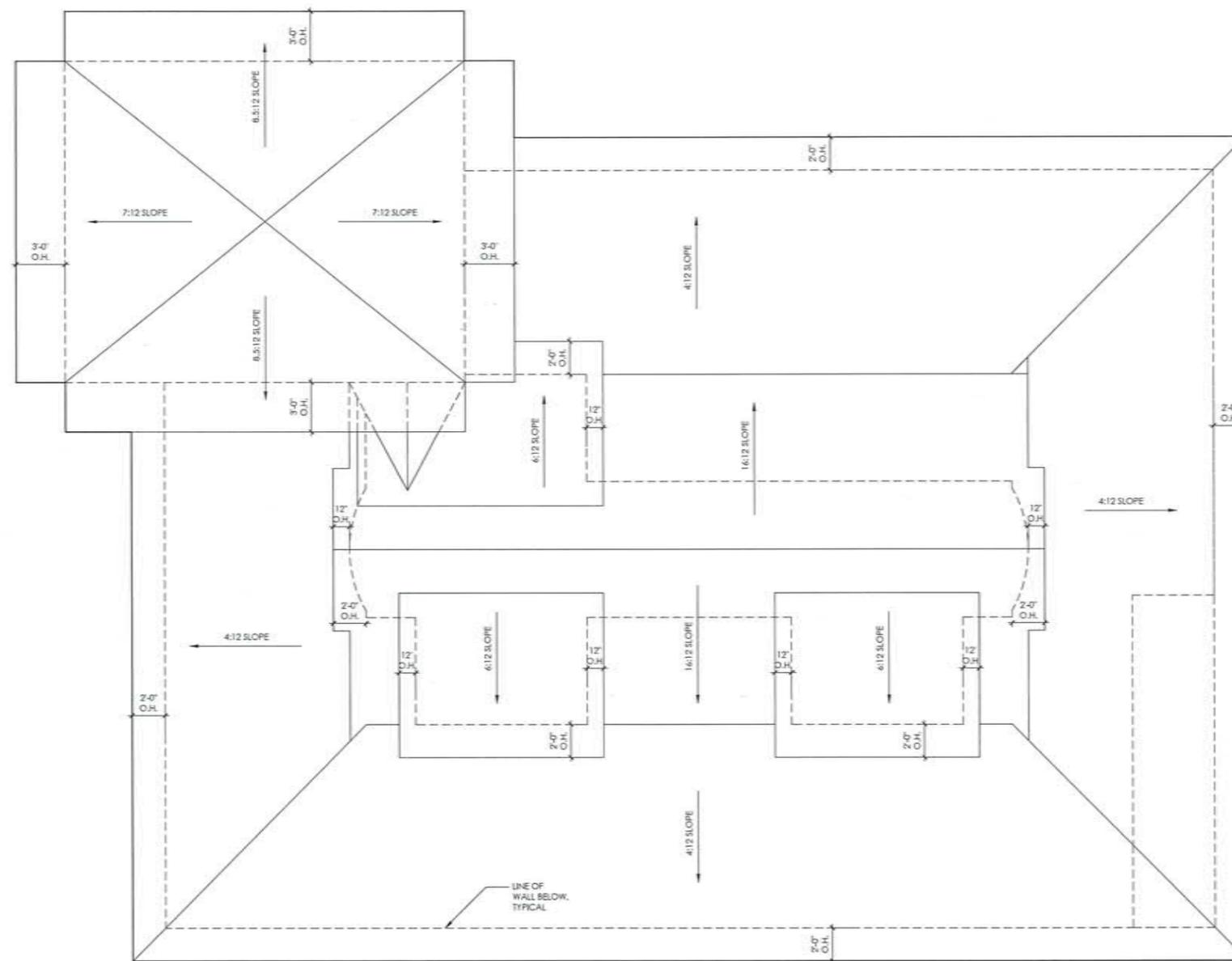
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DATE: 5 / 7 / 24

SCALE: -

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 PROCUREMENT, PERMIT
 OR CONSTRUCTION
 PURPOSES.

SHEET:
A1.3



1 ROOF PLAN
 SCALE: $\frac{1}{4}'' = 1'-0''$

PROJECT NAME:
**MANER
 DENTIST
 OFFICE**
 1106 BLUE JAY STREET
 KILL DEVIL HILLS, NC

REVISIONS:	DATE:
TOWN REVIEW	3 / 18 / 24
TOWN REVISIONS	5 / 7 / 24

DRAWING NAME:
**EXTERIOR
 ELEVATIONS**

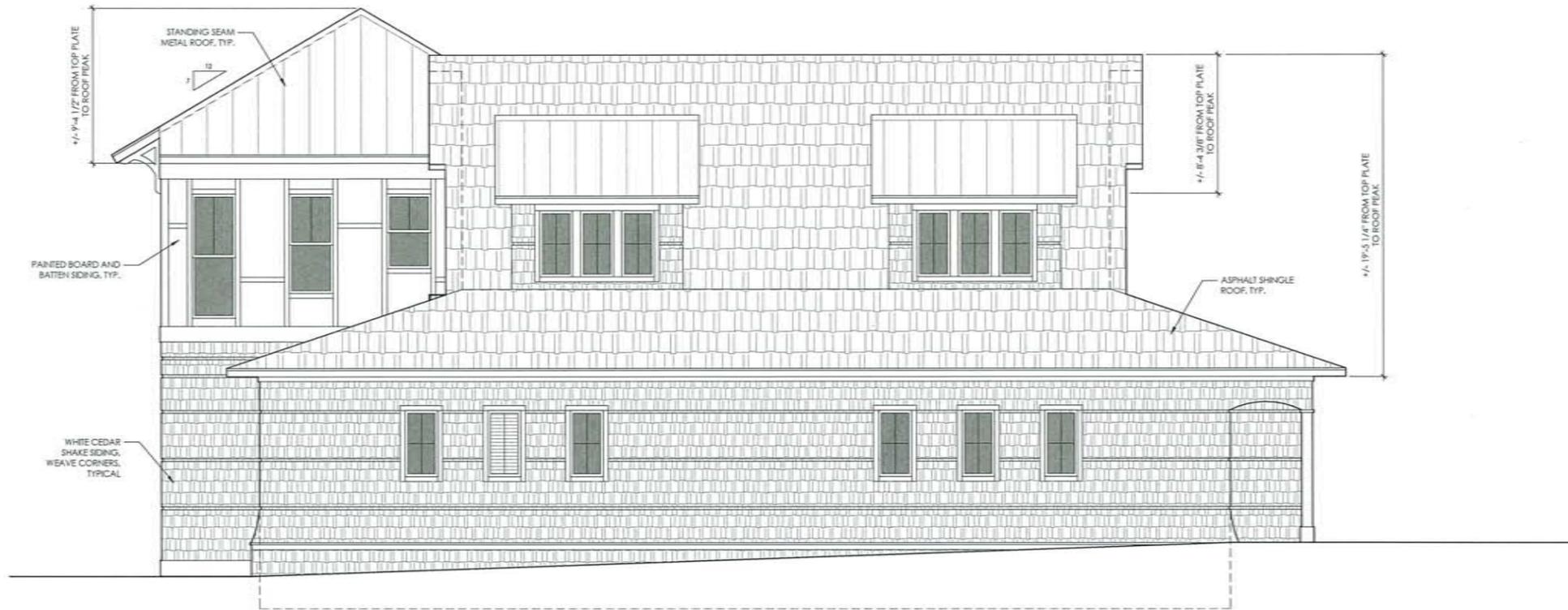
PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION:
 FOR TOWN OF KILL DEVIL HILLS
 ZONING REVIEW ONLY

DRAWN BY: CN

DATE: 5 / 7 / 24

SCALE: -

STAMP:
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 PURPOSES.



1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

PROJECT NAME:
**MANER
 DENTIST
 OFFICE**
 1106 BLUE JAY STREET
 KILL DEVIL HILLS, NC

REVISIONS:	DATE:
TOWN REVIEW	3 / 18 / 24
TOWN REVISIONS	5 / 7 / 24

DRAWING NAME:
**EXTERIOR
 ELEVATIONS**

PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION:
 FOR TOWN OF KILL DEVIL HILLS
 ZONING REVIEW ONLY

DRAWN BY: CN

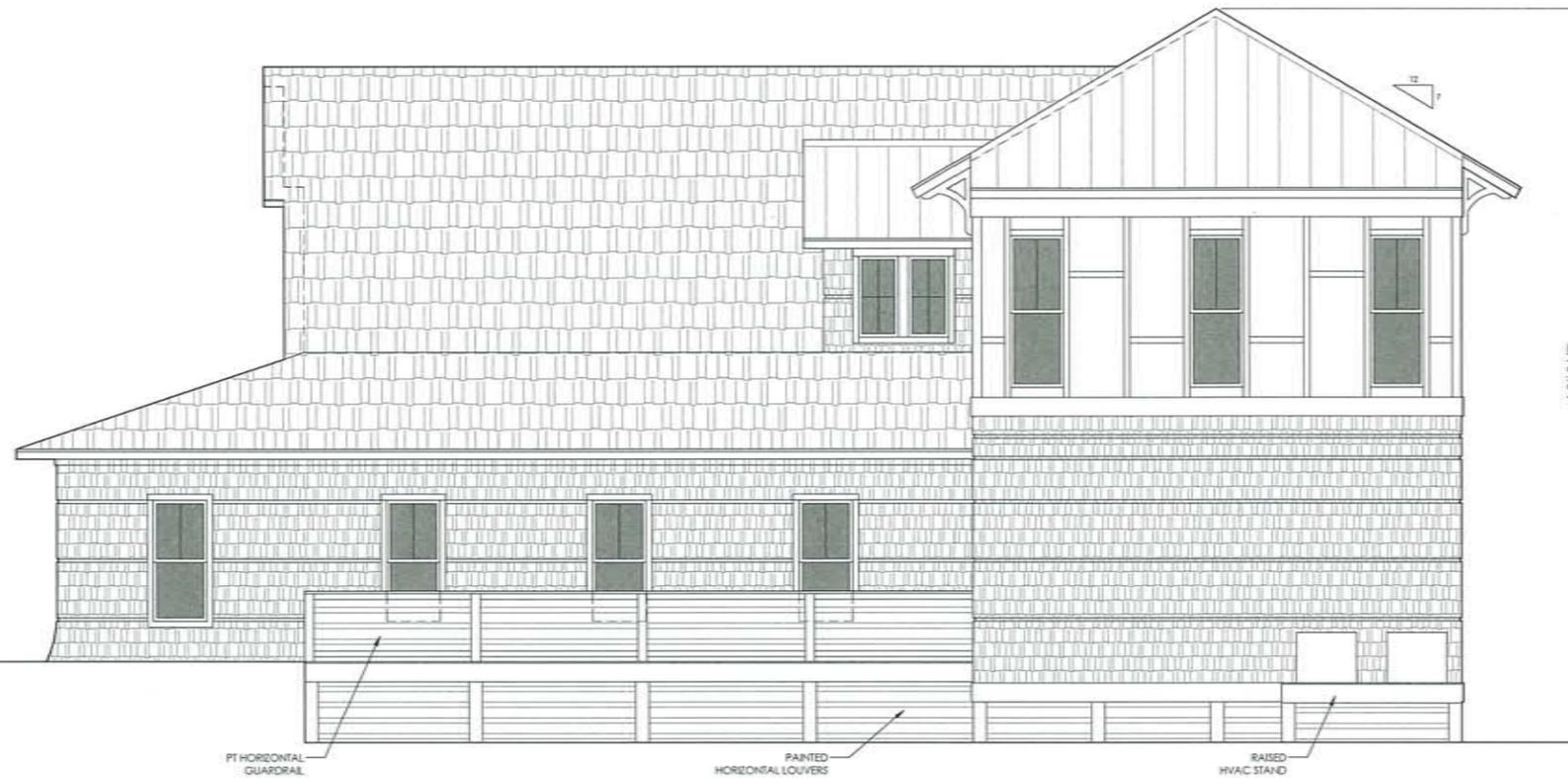
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SCALE: -

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 PURPOSES.

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SHEET:
A2.2



1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

PT HORIZONTAL
 GUARDRAIL

PAINTED
 HORIZONTAL LOUVERS

RAISED
 HVAC STAND



2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

RAISED
 HVAC STAND

Director of
Planning and Inspections
MEREDITH GUNS

Building Inspector
MARTY SHAW
CHARLES THUMAN

Code Enforcement Officer
JORDAN BLYTHE



Assistant Director of
Planning and Inspections
CAMERON RAY

Senior Planner
RYAN LANG

Zoning Administrator
DONNA ELLIOTT

THE TOWN OF KILL DEVIL HILLS
NORTH CAROLINA

PLANNING DEPARTMENT

May 21, 2024

Memorandum

To: Planning Board

From: Cameron Ray, Assistant Planning Director 

Subject: **Minor Subdivision Review** — Ocean Breeze Townhomes: Phase 2 — Proposed 8-Lot
Minor Subdivision

A minor subdivision meeting the requirements of *§152 Subdivisions* is enclosed for the Ocean Breeze Townhomes: Phase 2 at 902 South Virginia Dare Trail in the Commercial Zone. The sketch plan and preliminary plat requirements have been waived and the technical review certified by the Planning Director consistent with *§152.25*. A minor subdivision requires the approval by the Planning Board Chairman prior to recordation.

This action will be recorded for compliance with *§152.25* of the subdivision ordinance.



VICINITY MAP
NTS

State of North Carolina
County of Dare

I, _____, Review Officer
of Dare County, certify that the map or plat to which this certification
is affixed meets all statutory requirements for recording.

Date _____ Review Officer _____

Exemption Certificate

I hereby certify that the subdivision shown hereon is according to the
subdivision code of the Town of Kill Devil Hills and is approved for
recording in the Office of the Registry of Deeds in Dare County.

Date _____ Chairman of the Town of
Kill Devil Hills Planning Board _____

Certificate of Ownership

I hereby certify that I am the owner of the property shown and described hereon,
and that I hereby adopt this plan subdivision with my free consent.

Date _____ Owner, Ocean Breeze Developments, LLC _____

Notary Certificate

State of North Carolina
County of Dare

I, _____, of the County and State aforesaid,
certify that _____, personally appeared before
me this day and acknowledged the execution of this foregoing instrument.

Witness my hand and official stamp or seal, this _____ day of _____, 2024.

Notary Public

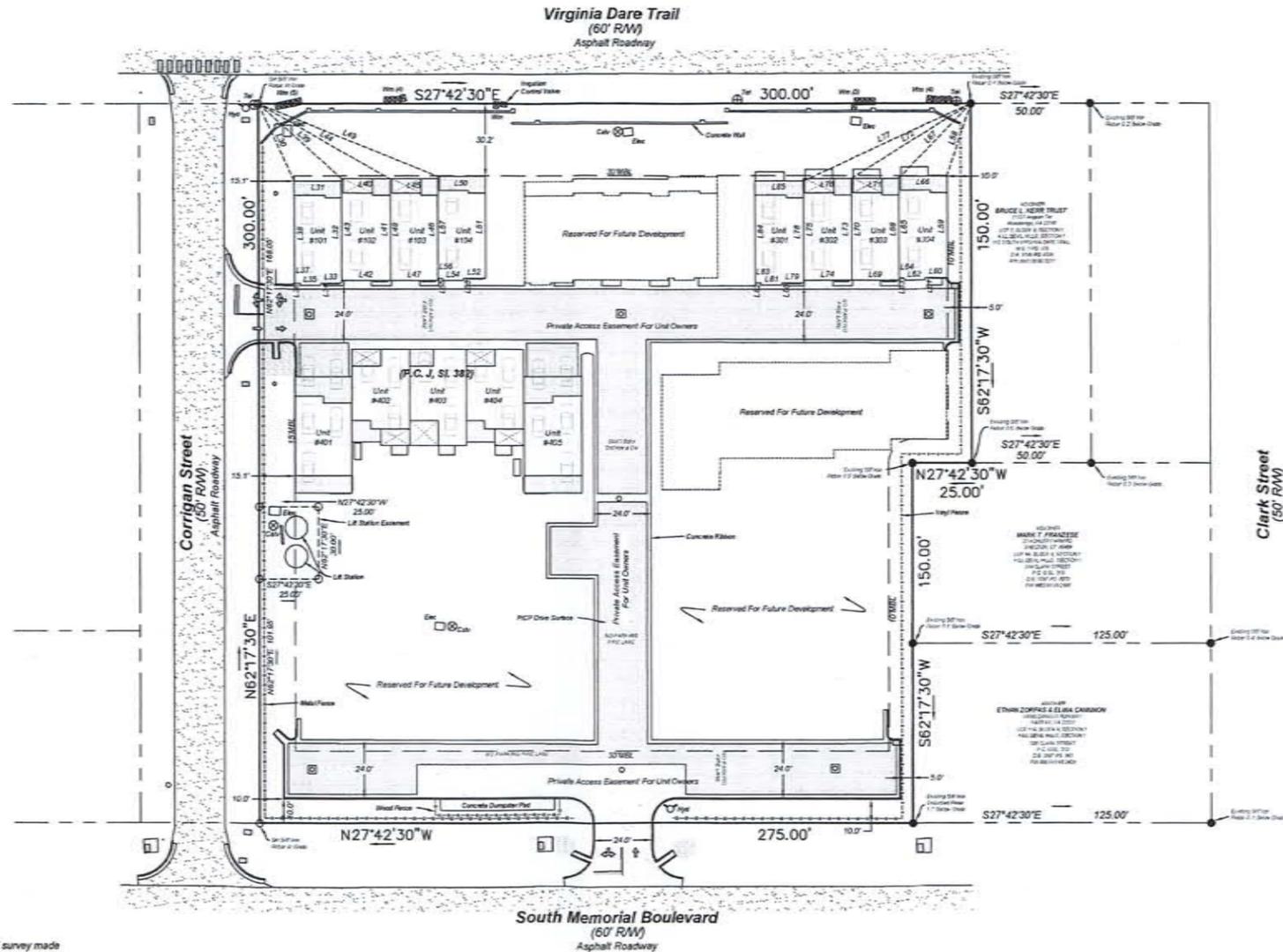
My commission expires: _____

I, Jamie E. Furr, Certify that this plat was drawn under my supervision from an actual survey made
under my supervision (description recorded in P.C. I, Sl. 356) that the boundaries not surveyed are
clearly indicated as drawn from information found in shown references, that the ratio of precision or
positional accuracy as calculated is 1:10,000+, that this plat was prepared in accordance with G.S.
47-30 as amended. I further certify that the survey creates a subdivision of land within the area of a
county or municipality that has an ordinance that regulates parcels of land. Witness my original
signature, license number and seal, this _____

14th Day Of March, 2024

Jamie E. Furr, PLS L-4692

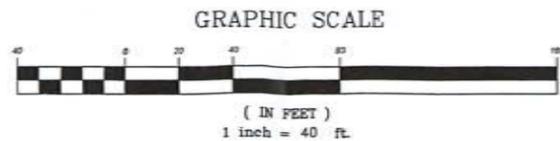
Note: Boundary Lines Not Surveyed
Shown in Dashed Lines (- - - -)



NOTES

1. AREA BY COORDINATE COMPUTATION=86,250sq.ft./1.98 acre
2. ADDRESS: 902 SOUTH VIRGINIA DARE TRAIL, UNITS 101-104, & 301-304, KILL DEVIL HILLS, NC, 27948
3. PARCEL ID #027820000 PIN #98930882774
4. ZONING DISTRICT: C - COMMERCIAL ZONE, PERMITTED BUILDING USE: MULTI-FAMILY
5. FLOOD ZONE X FLOOD PANEL #3720988300K (F.I.R.M. ZONE SUBJECT TO CHANGE BY F.E.M.A.) - REGULATORY FLOOD PROTECTION ELEVATION (RFPE), IN SHADED X AND X ZONES WEST OF NC 12, THE RFPE IS EIGHT FEET NAVD 1988 OR THE NATURAL GRADE ELEVATION IF THE NATURAL GRADE IS GREATER THAN EIGHT FEET NAVD 1988
6. RECORDED REFERENCES: M.B. 1, PG. 175, P.C. I, SL. 356, P.C. G, SL. 313, P.C. E, SL. 385, P.C. D, SL. 358, D.B. 2531, PG. 33
7. IT IS THE SOLE RESPONSIBILITY OF THE PERMITTING MUNICIPALITY TO VERIFY SITE COMPLIANCE WITH ALL ORDINANCES, ZONING, & SETBACKS REQUIREMENTS PRIOR TO THE ISSUANCE OF PERMITS. SURVEYOR MAKES NO CERTIFICATION AS TO COMPLIANCES EITHER SHOWN OR IMPLIED.
8. THIS SURVEY IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
9. A 5' UTILITIES EASEMENT IS RESERVED ALONG ALL PROPERTY LINES

Line	Length	Bearing
L31	35.80'	S27°17'30"W
L32	19.92'	S27°42'30"E
L33	43.00'	S62°17'30"W
L34	9.00'	N27°42'30"W
L35	8.50'	N27°42'30"W
L36	1.00'	N27°17'30"E
L37	2.42'	N27°42'30"W
L38	42.00'	N62°17'30"E
L39	47.43'	S13°42'23"W
L40	19.75'	S27°42'30"E
L41	42.00'	S62°17'30"W
L42	19.75'	N27°42'30"W
L43	42.00'	N62°17'30"E
L44	63.85'	S0°42'50"W
L45	19.75'	S27°42'30"E
L46	42.00'	S62°17'30"W
L47	19.75'	N27°42'30"W
L48	42.00'	N62°17'30"E
L49	81.74'	S0°51'40"E
L50	19.92'	S27°42'30"E
L51	42.00'	S62°17'30"W
L52	9.42'	N27°42'30"W
L53	1.00'	N27°17'30"E
L54	8.50'	N27°42'30"W
L55	1.00'	N62°17'30"E
L56	2.00'	N27°42'30"W
L57	42.00'	S62°17'30"W
L58	32.25'	S80°49'49"W
L59	42.00'	S62°17'30"W
L60	9.42'	N27°42'30"W
L61	1.00'	S62°17'30"W
L62	8.50'	N27°42'30"W
L63	1.00'	N62°17'30"E
L64	2.00'	N27°42'30"W
L65	42.00'	N62°17'30"E
L66	19.92'	S27°42'30"E
L67	42.81'	N27°42'30"W
L68	42.00'	S62°17'30"W
L69	19.75'	N27°42'30"W
L70	42.00'	N62°17'30"E
L71	19.75'	S27°42'30"E
L72	58.64'	N59°28'38"W
L73	42.00'	S62°17'30"W
L74	19.75'	N27°42'30"W
L75	42.00'	N62°17'30"E
L76	19.75'	S27°42'30"E
L77	77.83'	N22°17'22"W
L78	42.00'	S62°17'30"W
L79	8.50'	N27°42'30"W
L80	1.00'	S62°17'30"W
L81	8.50'	N27°42'30"W
L82	1.00'	N62°17'30"E
L83	2.42'	N27°42'30"W
L84	42.00'	N62°17'30"E
L85	19.92'	S27°42'30"E



- LEGEND**
- EX PIPE
 - DRILL HOLE SET
 - REBAR SET
 - EX REBAR
 - EX CONC MON
 - CONC MON SET
 - EX PW WALL
 - EX DRILL HOLE
 - FIBER OPTIC
 - CATV PDS
 - UTILITY POLE
 - ELEC. BOX
 - LIGHTPOST
 - WATER METER
 - FIRE HYDRANT

EASTERN GEOMATICS, PLLC
P.O. BOX 1026 PHONE: 252-441-4590
(305 SOUNDVIEW DRIVE) FIRM LIC#: P-0733
KILL DEVIL HILLS, N.C. 27948

BY _____

REVISIONS

NO. DATE DESCRIPTION

Ocean Breeze Townhomes, Phase 2
Lot 1A, Block 9, Section 1, Kill Devil Beach
ATLANTIC TOWNSHIP DARE COUNTY NORTH CAROLINA

FILE NO: 21-1931PH-2

SCALE: 1"=40'

SURVEYED: JEF

DRAWN: JEF

CHECKED: JEF

DATE: 3/14/2024

SHEET NO: 1

OF 1 SHEETS

Director of
Planning and Inspections
MEREDITH GUNS

Building Inspector
MARTY SHAW
CHARLES THUMAN

Code Enforcement Officer
JORDAN BLYTHE



Assistant Director of
Planning and Inspections
CAMERON RAY

Senior Planner
RYAN LANG

Zoning Administrator
DONNA ELLIOTT

THE TOWN OF KILL DEVIL HILLS
NORTH CAROLINA

PLANNING DEPARTMENT

May 21, 2024

Memorandum

To: Planning Board

From: Cameron Ray, Assistant Planning Director 

Subject: **Minor Subdivision Review** — Ocean Breeze Townhomes: Phase 3 — Proposed 8-Lot
Minor Subdivision

A minor subdivision meeting the requirements of *§152 Subdivisions* is enclosed for the Ocean Breeze Townhomes: Phase 2 at 902 South Virginia Dare Trail in the Commercial Zone. The sketch plan and preliminary plat requirements have been waived and the technical review certified by the Planning Director consistent with *§152.25*. A minor subdivision requires the approval by the Planning Board Chairman prior to recordation.

This action will be recorded for compliance with *§152.25* of the subdivision ordinance.

