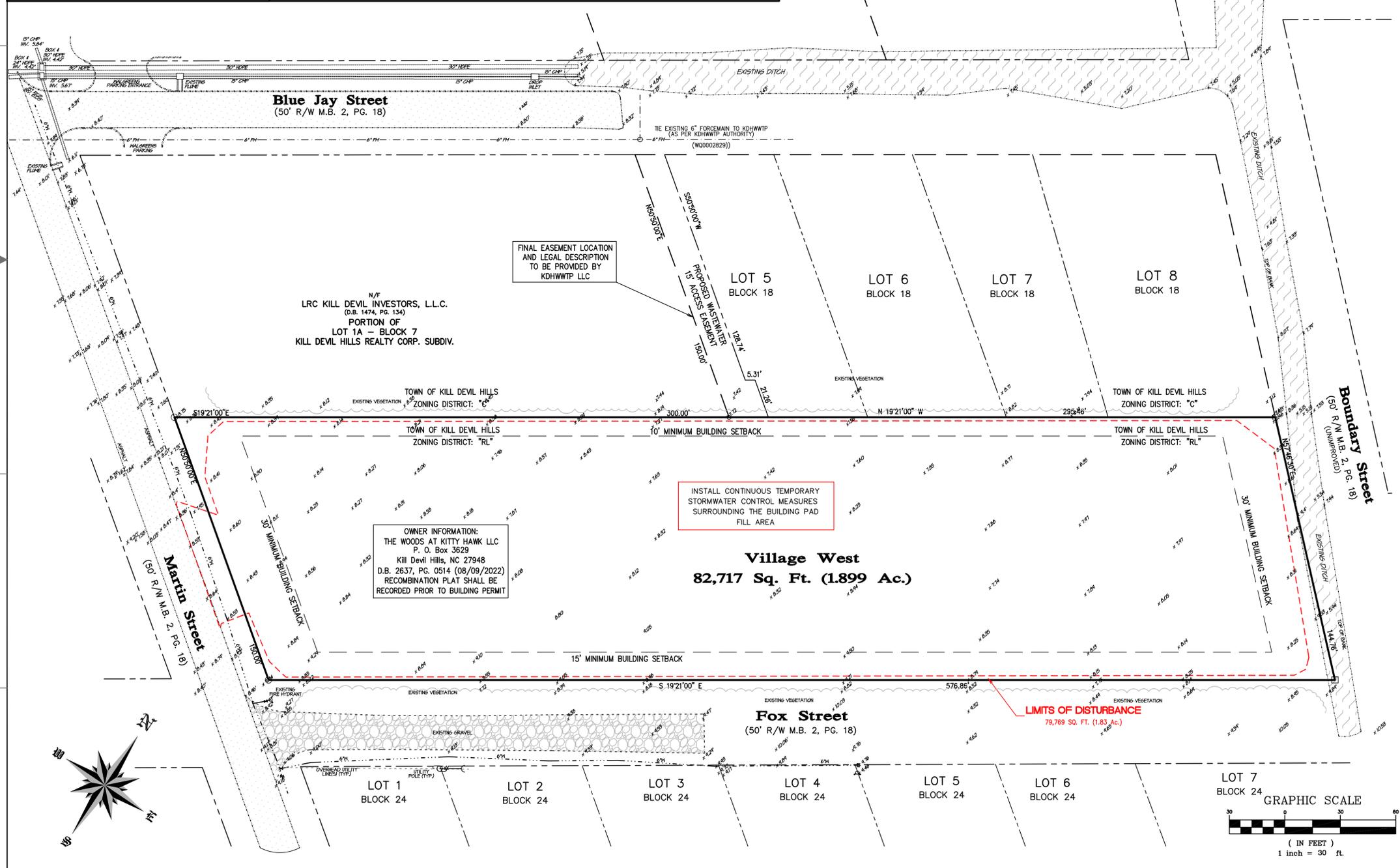
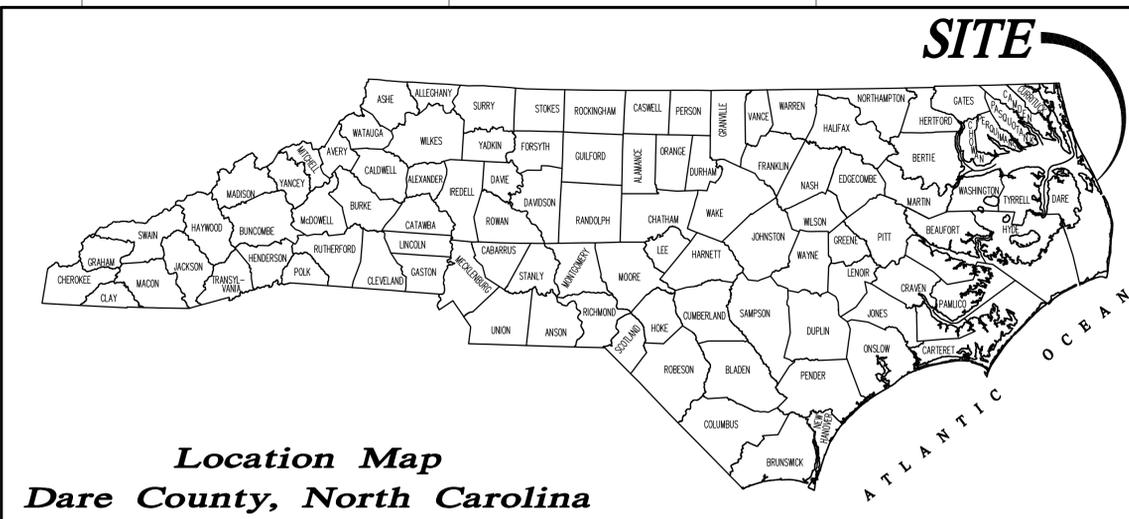


General Notes

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- STREET ADDRESS: 207 Martin Street Kill Devil Hills, NC 27948
- PARCEL ID NUMBER: 004388000
- GLOBAL PIN: 988312868497
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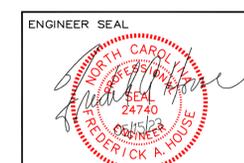


Sheet Index

- C1 Cover Sheet / Index Sheet
- C2 Site and Utility Plan
- C3 Grading and Drainage Plan
- C4 Landscape Plan
- C5 Lighting Plan
- C6 Site and Utility Detail Plan
- C7 Grading and Drainage Detail Plan
- C8 Landscape and Lighting Detail Plan
- SC1 Soil Erosion and Sedimentation Control Plan
- SC2 Soil Erosion and Sedimentation Control Detail Plan

INCIDENTAL DRAINAGE

1. TEMPORARY DRAINAGE DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER/DEVELOPER/CONTRACTOR TO RELIEVE AREAS THAT MAY CAUSE DAMAGE TO ROADWAYS AND/OR ADJACENT PROPERTIES AS DIRECTED BY PLANNING/CIVIL INSPECTIONS.
2. THE PLANNING/CIVIL INSPECTOR WILL PERFORM AN ON-SITE INSPECTION OF STORM SEWER PIPE INSTALLATION PRIOR TO ANY BACKFILLING OF THE INSTALLED PIPE.
3. IF PRECAST DRAINAGE STRUCTURES ARE USED, SHOP DRAWINGS WILL BE SUBMITTED TO THE DESIGN ENGINEER BY THE OWNER/DEVELOPER/CONTRACTORS DESIGN CONSULTANT, ALONG WITH THE PROPER CERTIFICATIONS, UNLESS PREVIOUSLY APPROVED BY THE TOWN OF KILL DEVIL HILL PLANNER.
4. ALL STORM SEWER PIPE JOINTS WILL BE INSTALLED, SILT FREE, OR WILL BE COMPLETELY WRAPPED WITH TWO FEET (2') WIDE APPROVED FILTER FABRIC, SECURED IN PLACE PRIOR TO BACKFILLING.



HOUSE ENGINEERING, P.C.
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 Kitty Hawk, North Carolina 27949
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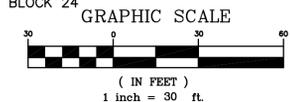
APPROVALS		DATE
Drawn:	D. NEFF	05/15/23
Checked:	R. HOUSE	05/15/23
Engineer:	R. HOUSE	05/15/23

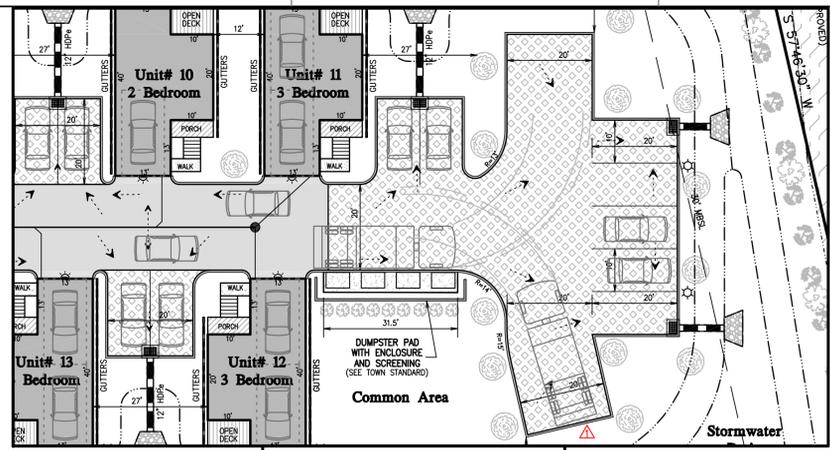
REVISIONS		
No.	Date	Description
Δ	05/15/23	STAFF COMMENTS

Cover and Index Sheet
 For:
Village West
 Location:
207 West Martin Street
 Parcel in Kill Devil Hills
 Kill Devil Hills Dare County North Carolina

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	C1 OF 8

CAD FILENAME: 226733 SCALE: 1" = 30'-0"





TRUCK TURNING RADIUS
SCALE: 1"=20'

FINAL EASEMENT LOCATION AND LEGAL DESCRIPTION TO BE PROVIDED BY KDHWWTP LLC

ALL WORK ASSOCIATED WITH SEWER EXTENSION CONSTRUCTION IN THE TOWN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING PERMIT CONDITIONS AND THE EXECUTED TOWN OF KILL DEVIL HILLS RIGHT-OF-WAY ENCROACHMENT AGREEMENT SEE SHEET C6 OF 8 FOR WORKING STANDARDS

General Notes

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- LOT COVERAGE: BUILDING AND DECKS - 850 SF / UNIT x 21 = 17,850 SQ. FT. VEHICULAR SURFACE - 9,984 SQ. FT. CONCRETE CURB - 711 SQ. FT. CONCRETE WALK - 460 SQ. FT. CONCRETE DUMPSTER - 150 SQ. FT. TOTAL COVERAGE 29,155 S.F. 35.40% 8" STONE BASE PERM. PAVERS 8,017 S.F. x 0.40 = 3,207 S.F. TOTAL COVERAGE 32,362 S.F. 39.12% TOTAL BUILT UPON AREA (TOTAL B.U.A. 37,172 SF. or 44.94%)
- PARKING DATA: 10 (3) BEDROOM UNITS @ 1 SPACE PER BEDROOM = 30 SPACES 11 (2) BEDROOM UNITS @ 1 SPACE PER BEDROOM = 22 SPACES TOTAL SPACES REQUIRED = 52 SPACES (26 Outside Dwelling) TOTAL SPACES PROVIDED = 57 SPACES
- MAX. BUILDING HEIGHT: 42 OVERALL (35' TO TOP PLATE)
- ELEVATION REFERENCED: NAVD 88 FLOOD ZONE "X", RFFE 8' (TOP OF SLAB @ 9.8 - 10.2')
- Long-Term use agreement shall be recorded with Dare County Register of Deeds prior to issuance of a building permit.
- BOUNDARY AND INFORMATION TAKEN FROM "Seaboard Surveying & Planning, Inc."

Legend

- PROPOSED DWELLING AREA
- PROPOSED VEHICLE CIRCULATION AREA
- PROPOSED CONCRETE AREA
- EXISTING ROAD SURFACE
- PROPOSED DECK
- PROPOSED REINFORCED VEHICLE CIRCULATION AREA (6" 3,000 PSI CONCRETE)
- PROPOSED INTERLOCKING CONCRETE GRID PAVERS WITH 8" OF WASHED STONE BASE
- PROPOSED PARKING SPACE (10'x20')
- PROPOSED 1" WATER SERVICE LINE (SIZED BY KDH)
- PROPOSED STORM PIPE
- EXISTING WATERMAIN

N/F LRC KILL DEVIL INVESTORS, L.L.C. (D.B. 1474, PG. 134) PORTION OF LOT 1A - BLOCK 7 KILL DEVIL HILLS REALTY CORP. SUBDIV. (P.C. E. L. 738) LINE "A-B" = L1 LINE "C-D" = L2 (P.C. E. L. 738)

TOWN OF KILL DEVIL HILLS ZONING DISTRICT: "C"

ZONING DISTRICT: "RL"

TOWN OF KILL DEVIL HILLS ZONING DISTRICT: "C"

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BEFORE YOU DIG!



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Fox Street

(50' R/W M.B. 2, PG. 18)



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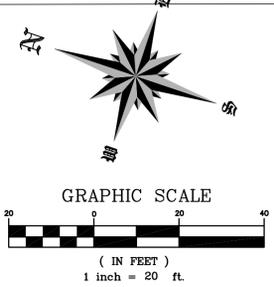
Site and Utility Plan

For: **Village West**
Location: **207 West Martin Street**
Parcel in Kill Devil Hills
Kill Devil Hills Dare County North Carolina

APPROVALS	DATE
Drawn: D. NEFF	05/15/23
Checked: R. HOUSE	05/15/23
Engineer: R. HOUSE	05/15/23

REVISIONS	
No.	Date
1	05/15/23
STAFF COMMENTS	

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	C2 OF 8



CAD FILENAME: 226733 SCALE: 1" = 20'-0"

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CONCRETE WALK - 460 SQ. FT.
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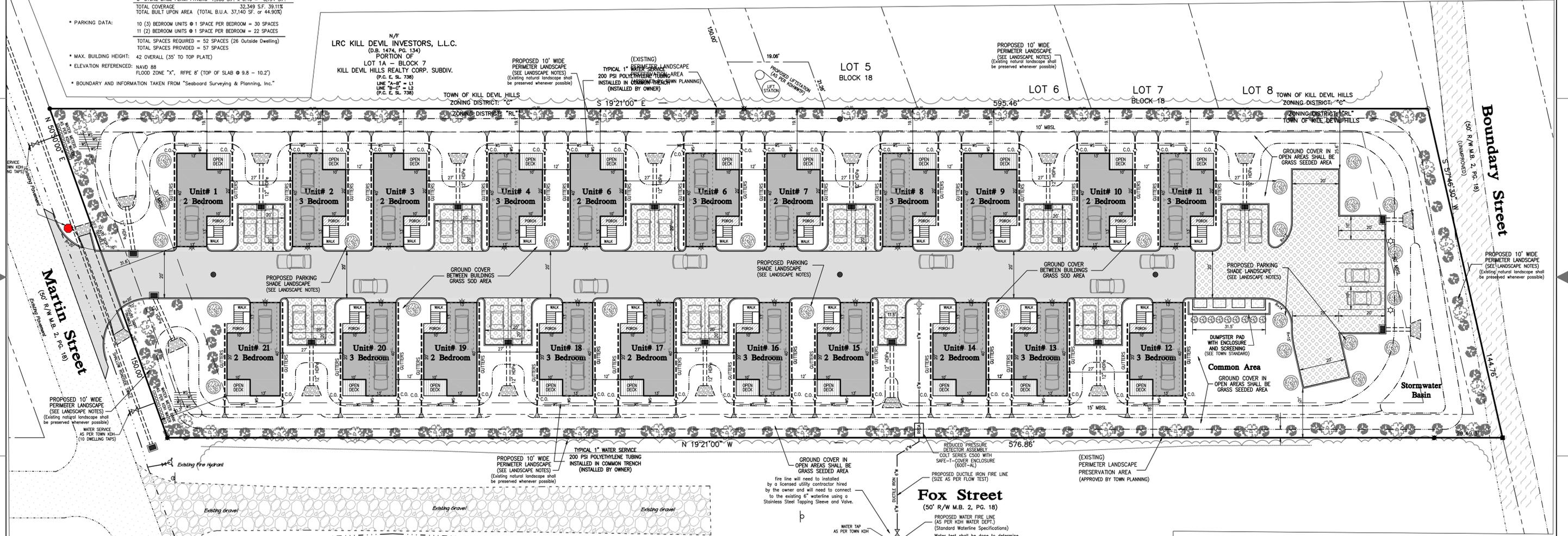
PERIMETER LANDSCAPE DATA

- EAST PROPERTY LINE = 600'
- 600/30 = 20 TREES REQUIRED
EXISTING VEGETATION
 - 600/10 = 60 SHRUBS REQUIRED
EXISTING VEGETATION
- MARTIN STREET RIGHT-OF-WAY = 150 LF.
150/10 = 15 TREES REQUIRED
15 TREES PROVIDED
- 150/10 = 15 SHRUBS REQUIRED
15 SHRUBS PROVIDED
- FOX STREET RIGHT-OF-WAY = 577 LF.
577/10 = 58 TREES REQUIRED
EXISTING VEGETATION
- 577/10 = 58 SHRUBS REQUIRED
EXISTING VEGETATION
- BOUNDARY STREET RIGHT-OF-WAY = 145 LF.
145/10 = 15 TREES REQUIRED
15 TREES PROVIDED
- 145/10 = 15 SHRUBS REQUIRED
15 SHRUBS PROVIDED

Legend

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- PROPOSED CONCRETE AREA
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N/F
LRC KILL DEVIL INVESTORS, L.L.C.
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PORTION OF
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(P.C.E.S. 738)
LINE "A-B" = L1
LINE "B-C" = L2
(P.C.E.S. 738)



Fox Street

(50' R/W M.B. 2, PG. 18)

REDUCED PRESSURE DETECTOR ASSEMBLY WITH SAFE-T-COVER ENCLOSURE (EOT-1AL)
PROPOSED DUCTILE IRON FIRE LINE (SIZE AS PER FLOW TEST)
fire line will need to be installed by a licensed utility contractor hired by the owner and will need to connect to the existing 6" waterline using a Stainless Steel Tapping Sleeve and Valve.

PROPOSED WATER FIRE LINE (AS PER KDH WATER DEPT.)
Water test shall be done to determine water flow for fire suppression.

WATER TAP AS PER TOWN KDH

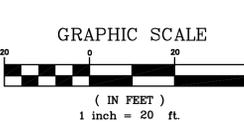
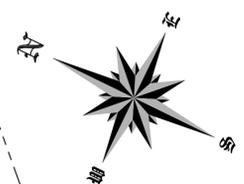
LANDSCAPE INVENTORY

Existing Vegetation: ON SITE INSPECTION SHALL BE REQUIRED TO ENSURE VEGETATION IS ON SITE PARCEL AND MINIMUM PLANTING REQUIREMENTS ARE MET.

Canopy Shade Cover: The percentage of ground covered by a vertical projection of the outermost perimeter of the natural spread of foliage of plants. Small openings within the canopy are included

LANDSCAPE LEGEND:

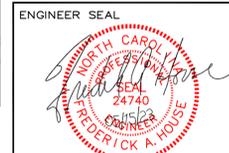
COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	MINIMUM SIZE @ PLANTING	QUANTITY	SYMBOL
BALD CYPRESS		50' - 100'	20' - 30'	2" Cal. - 8' Ht.	32	
CRAPE MYRTLE		15' - 30'	6' - 15'	1.5" Cal. - 6' Ht.	51	
GLOSSY ABELLA		3' - 5'	3' - 6'	3 Gallon	29	
DWARF YAUPON HOLLY		3' - 5'	3' - 6'	3 Gallon	8	



BEFORE YOU DIG!



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ENGINEER SEAL

Firm Certification# C-1955

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APPROVALS

Drawn:	DATE
D. NEFF	05/15/23
Checked: R. HOUSE	05/15/23
Engineer: R. HOUSE	05/15/23

REVISIONS

No.	Date	Description
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Landscape Plan

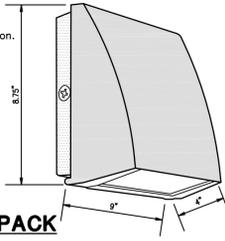
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Parcel in Kill Devil Hills

Kill Devil Hills Dare County North Carolina

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	C4 OF 8

CAD FILENAME: 226733 SCALE: 1" = 20'-0"

- Mounting: Die-cast back box with four (4) conduit entry points and knockout pattern for junction box or direct wall mounting. Hinged housing and bubble level for easy installation.
- Full Cutoff: Full cutoff meets dark-sky requirements
- Recommended Mounting Height: Up to 20 ft



RAB SLIM POLE AND WALLPACK (MODEL# SLIM12N)
NOT TO SCALE

RAB 12, Watt SLIM Wallpacks are designed to cover the footprint of most traditional wallpacks. They are suitable for mounting heights from 15' to 30'. These ultra-high efficiency fixtures are full cutoff

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LIGHTING LEGEND

- PROPOSED POLE LIGHT RAB LIGHTING (MODEL: ALED052) RAB STEEL POLE (MODEL: PS4-07-2502) (OR APPROVED EQUAL) MOUNTING HEIGHT @ 21' (SEE DETAIL SHT C8)
- PROPOSED WALL PACK LIGHT RAB LIGHTING (MODEL# SLIM12N) (OR APPROVED EQUAL) MOUNTING HEIGHT @ 12' (SEE DETAIL SHT C8)
- PHOTOMETRIC ILLUMINATION SPOT NUMBER
- PHOTOMETRIC ILLUMINATION CONTOURS APPROVED BY TOWN OF KILL DEVIL HILLS
- PHOTOMETRIC ILLUMINATION MAXIMUM 3.6 (FC)
- PHOTOMETRIC ILLUMINATION MINIMUM 0.1 (FC)
- PHOTOMETRIC ILLUMINATION AVERAGE 1.8 (FC)

LIGHTING NOTES

ALL LIGHT PRODUCED ON SITE SHALL BE CONTAINED WITHIN THE PERIMETER OF THE SITE BY DESIGN, ORIENTATION OR SHIELDING OF THE LIGHT SOURCE

Legend

- PROPOSED DWELLING AREA
- PROPOSED VEHICLE CIRCULATION AREA
- PROPOSED CONCRETE AREA
- EXISTING ROAD SURFACE
- PROPOSED DECK
- PROPOSED REINFORCED VEHICLE CIRCULATION AREA (6" 3,000 PSI CONCRETE)
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TOWN OF KILL DEVIL HILLS
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S 19°21'00" E

ZONING DISTRICT: "RL"

LOT 5
BLOCK 18

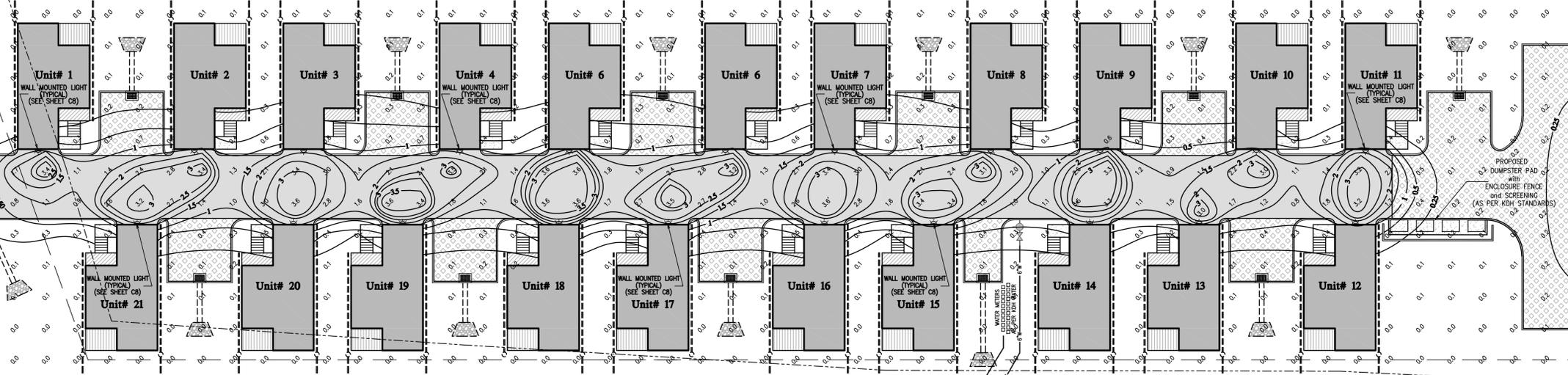
LOT 6
BLOCK 18

LOT 7
BLOCK 18

LOT 8
BLOCK 18

TOWN OF KILL DEVIL HILLS
ZONING DISTRICT: "C"

ZONING DISTRICT: "RL"



Martin Street
(50' R/W M.B. 2, PG. 18)

Boundary Street
(50' R/W M.B. 2, PG. 18)

Fox Street
(50' R/W M.B. 2, PG. 18)

LOT 1
BLOCK 24

LOT 2
BLOCK 24

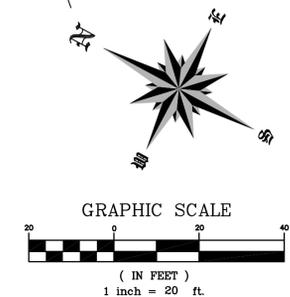
LOT 3
BLOCK 24

LOT 4
BLOCK 24

LOT 5
BLOCK 24

BEFORE YOU DIG!
North Carolina 811
WWW.nc811.ORG

NOTE:
THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.



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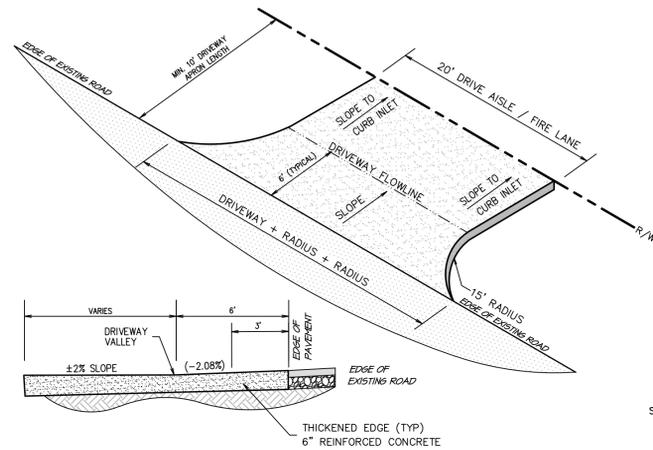
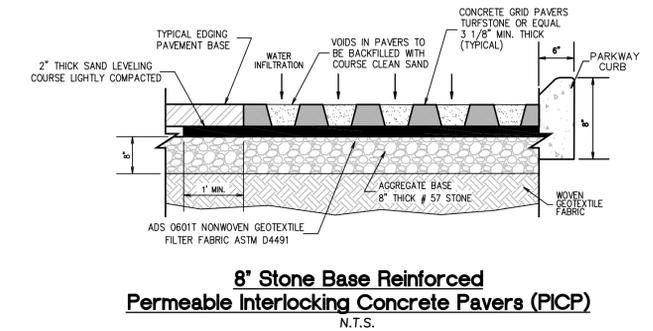
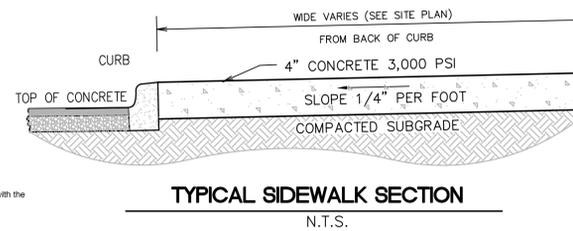
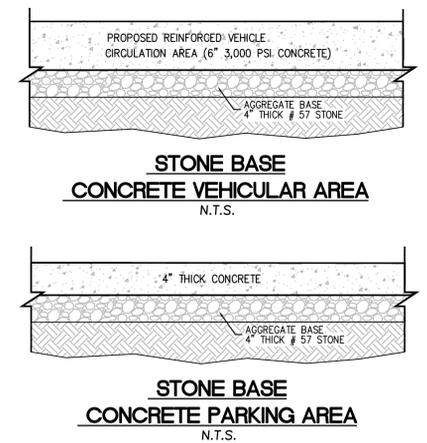
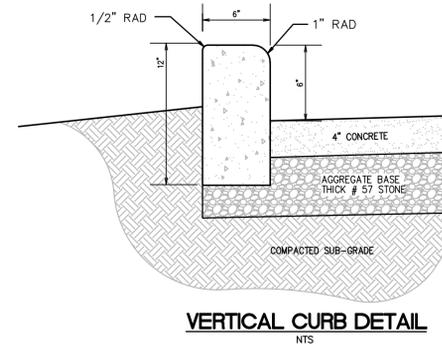
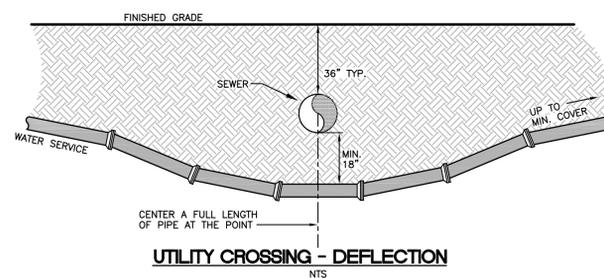
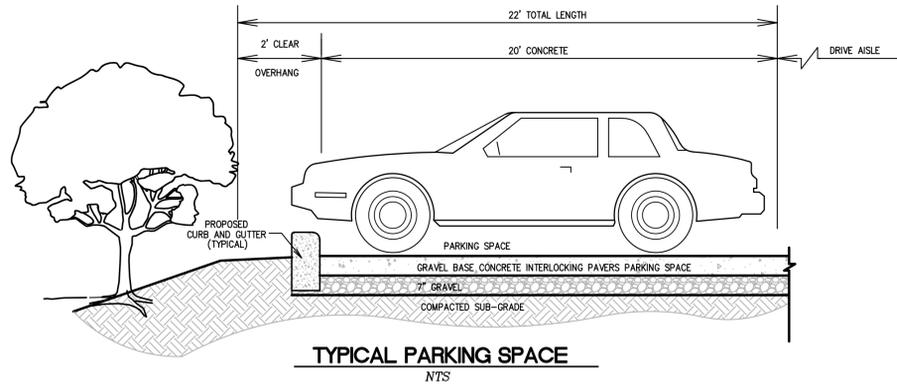
APPROVALS	DATE
Drawn: D. NEFF	05/15/23
Checked: R. HOUSE	05/15/23
Engineer: R. HOUSE	05/15/23

REVISIONS		
No.	Date	Description
1	05/15/23	STAFF COMMENTS

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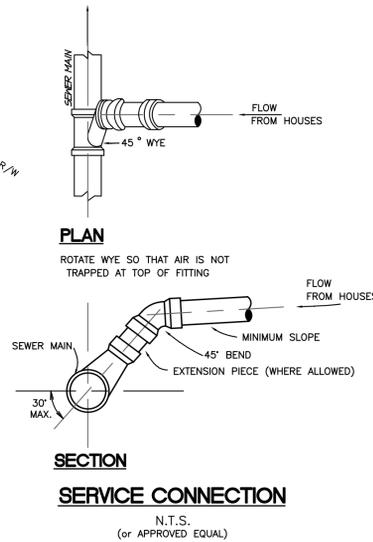
Lighting Plan
For:
Village West
Location:
207 West Martin Street
Parcel in Kill Devil Hills North Carolina

Kill Devil Hills	Dare County	North Carolina
SIZE	PROJECT NUMBER	REV
D	226733	-
CAD FILENAME: 226733	SCALE: 1" = 20'-0"	SHEET NO. C5 OF 8



1. ALL DRIVEWAYS MUST MEET THE CURRENT TOWN DRIVEWAY REQUIREMENTS AND NCOT REQUIREMENTS FOR SPACING AND SIGHT DISTANCES AND OFFSET FROM PROPERTY LINES AND INTERSECTIONS.
2. DRIVEWAY APRONS SHALL BE CONSTRUCTED OF A MINIMUM 6\"/>

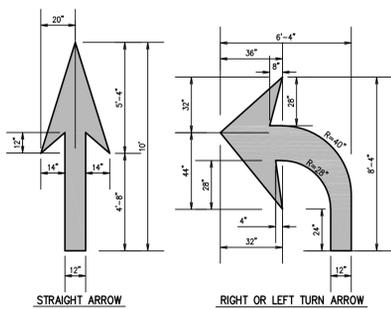
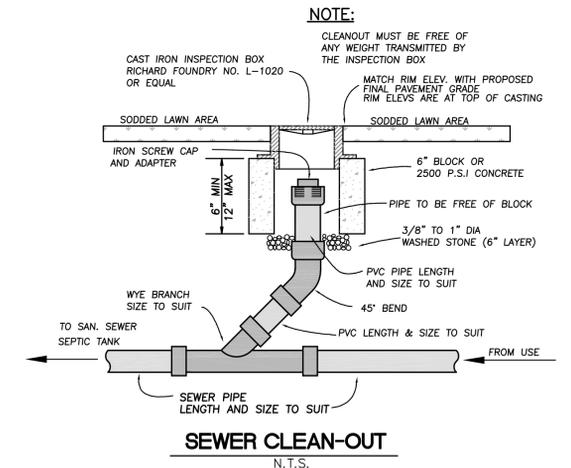
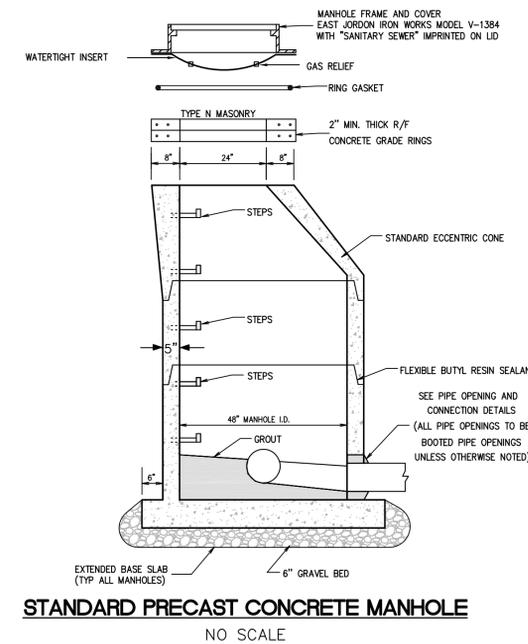
TYPICAL DRIVE AISLE ENTRANCE DETAIL
N.T.S.



All work associated with sewer extension construction in the Town right-of-ways shall be performed in accordance with the following permit conditions and the executed Town of Kill Devil Hills Right-of-Way Encroachment Agreement:

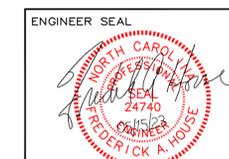
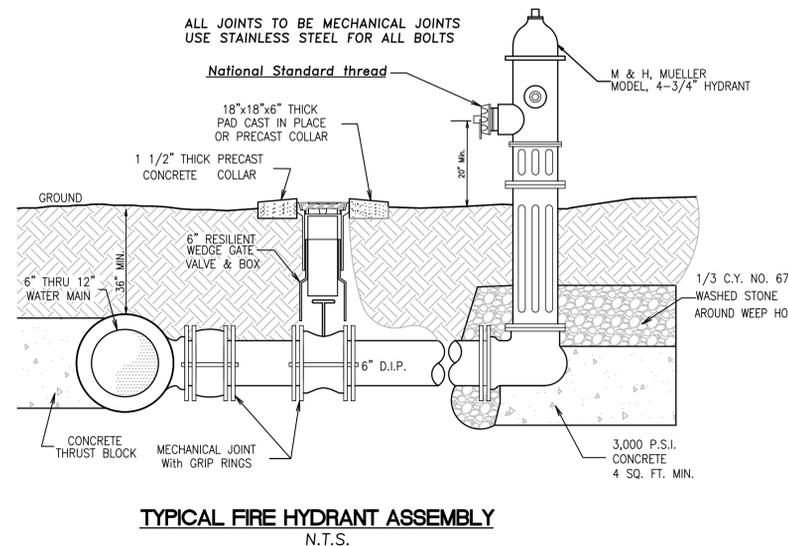
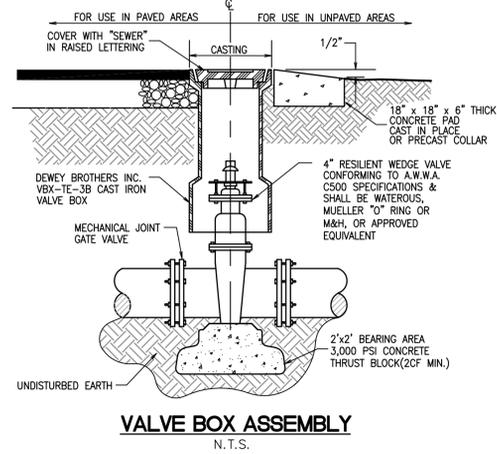
- Working Standards:
 - Project Manager/Administrator - Project requires a designated contact person to coordinate and oversee proper project installation. This person will be the one that the Town contacts in regards to questions, concerns or directions. This person will be responsible for:
 - Conducting an on-site pre-construction meeting with KDHP Public Services (KDHP) and the Contractor prior to work commencing. At least a 2-day notice of such a meeting is needed by KDHP.
 - Take pictures of project areas pre-existing conditions, provide copies to KDHP no later than the pre-construction meeting.
 - Verify existing utility locations and depths on construction plans.
 - Notify and coordinate work around any affected wastewater customers of any planned outages.
 - Ensure construction activities are kept to within approved project areas. This includes staging areas for pipes and equipment.
 - If any work is to be done in front of a property, mail letters to affected property owners notifying them that work will be occurring within the area adjacent to their properties. This letter should give owners 14 days prior to construction to remove any personal items from the town right-of-way. The letter outlines the extent of the work to be performed, especially if driveway disruptions are planned, the owner needs to be aware of this. A copy of this letter will be submitted to the town for approval prior to being sent.
 - Ensure that all construction safety aspects of work within town rights-of-way are adhered to. This includes the use of proper construction signage within town rights-of-way, insuring that all construction personnel within the construction zone are equipped with the proper safety gear including safety vests and hard hats. Contractor equipment left overnight within the rights-of-way must have proper flagging/safety cones placed around it to notify drivers of the equipment.
 - Road Closures - Any proposed road closures must be approved by KDHP. Project Manager will be responsible for contacting Dare Central, KDHP Police and Fire prior to road closures. Project Manager will then notify all agencies once the road has been reopened.
 - Provide a licensed engineer to oversee the installation of all appurtenances installed within the town right-of-way. The engineer will verify that all infrastructure was installed per the plans. Engineer will sign off on this installation and submit to the State for final approval. Any changes to the plans involving engineering work must be done by licensed NC engineer and approved by the town.
 - The work within the town rights-of-way must be kept in an orderly and neat fashion. No material (soils, gravel or other project fill) can be placed directly on any street surface without matting being put down first. Any damage to any road surface from construction activities must be repaired at the owner's expense.
 - Driveways - Any driveway removals must have a temporary surface put in the same day as removal. Approved surfaces are ABC or millings. No sand or other materials are approved.
 - Driveway culverts - If any driveway culvert work is included in the project, culvert and elevations must be shown on plans prior to construction. Any culvert damage from construction activities must be repaired/replaced at the project owner's expense. Culverts in project area must have filter cloth installed at both ends prior to construction.
 - Drainage infrastructure - All town drainage infrastructure within the project area will be returned to pre-existing conditions prior to final project approval.
 - Seeding and Stabilization - Seeding to be in place within 5 days of project final installations. Grass growth within 10 days. Special note - as it appears the project may be conducted during the holiday summer months, it will be of the utmost importance for the contractor to water the new seeding at least once a day, if not more, in order to get growth and stabilization.

Kill Devil Hills Wastewater Notes
NO SCALE



- PAVEMENT MARKINGS SHALL BE THERMOPLASTIC
- ALL PAVEMENT MARKING SYMBOLS SHALL BE WHITE IN COLOR. PAVEMENT MARKING SYMBOLS SHALL NOT BE LOCATED AS TO ENCRoACH INTO INTERSECTION AREAS.
- ON PORTLAND CEMENT CONCRETE PAVEMENTS, PAVEMENT MARKING SYMBOLS SHALL NOT BE PLACED ACROSS TRANSVERSE EXPANSION JOINTS, UNLESS APPROVED BY THE ENGINEER.
- ALL SYMBOLS SHALL CONFORM TO THE FHWA STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS REFER TO SHEET 4 THRU 7). SYMBOL DIMENSIONS MAY VARY ALONG MANUFACTURERS, THEREFORE SLIGHT VARIANCES ARE ACCEPTABLE, HOWEVER, ALL SYMBOLS ARE REQUIRED TO BE APPROVED BY THE DEPARTMENT.

PAVEMENT MARKING-ARROW SYMBOLS
N.T.S.



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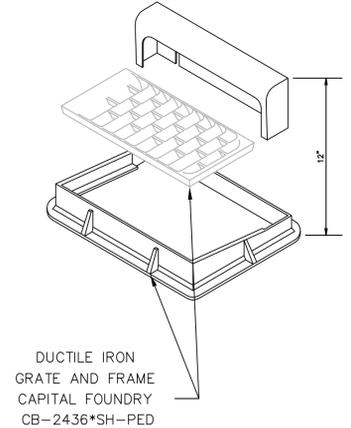
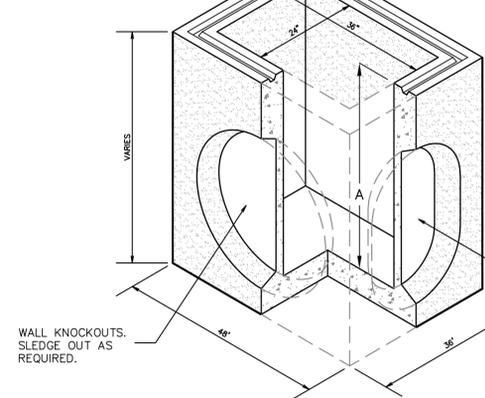
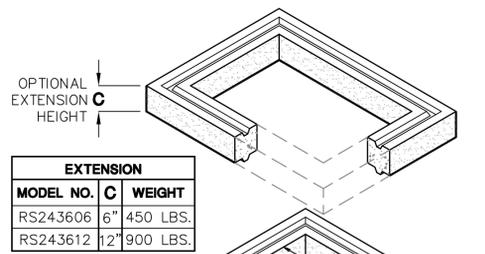
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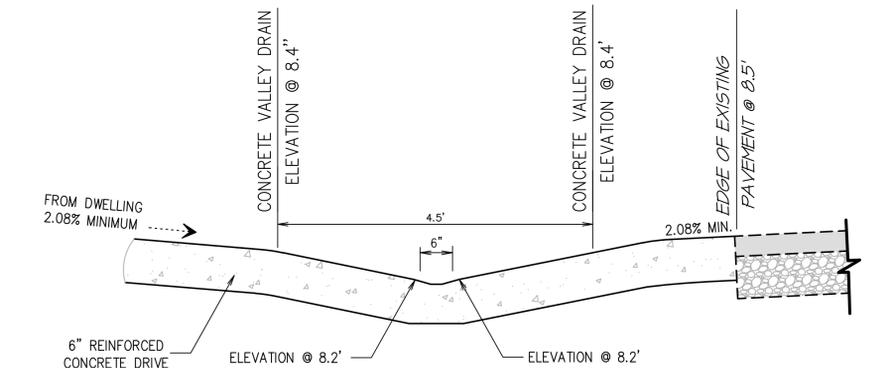
Site and Utility Detail Plan
For: **Village West**
Location: **207 West Martin Street**
Parcel in Kill Devil Hills
Kill Devil Hills Dare County North Carolina

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	C6 OF 8

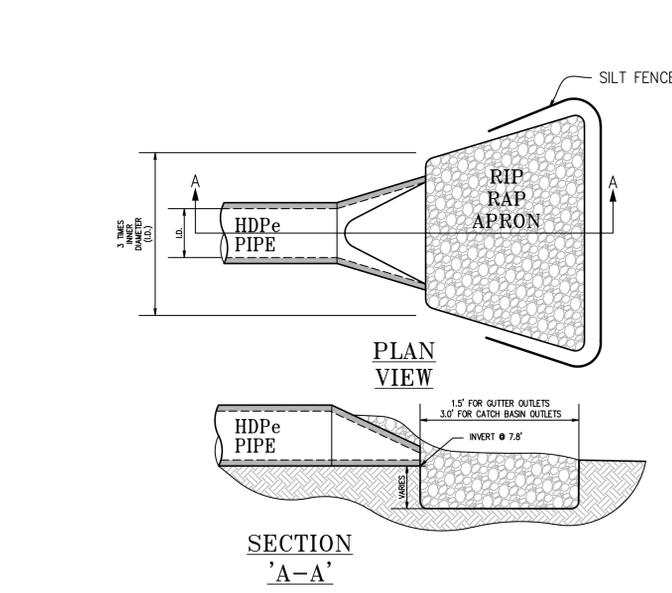
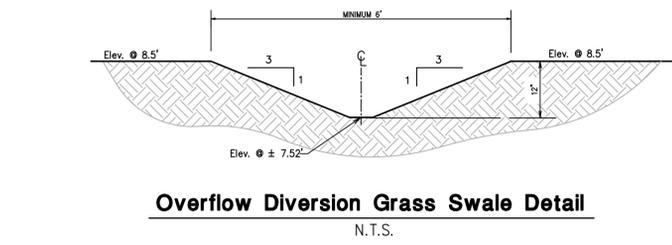
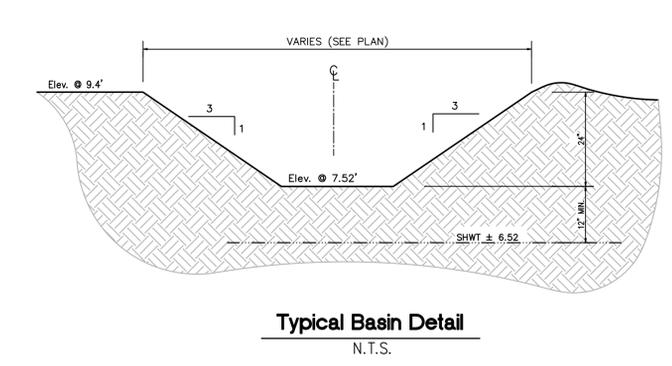
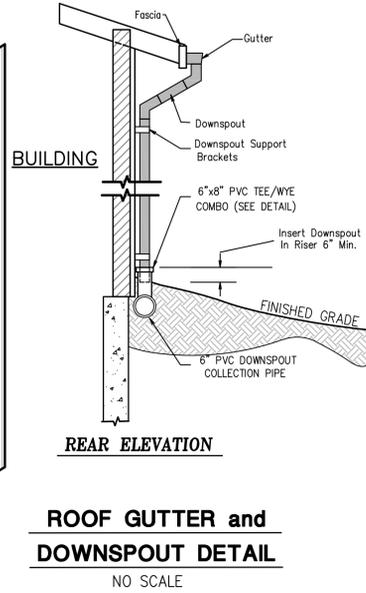
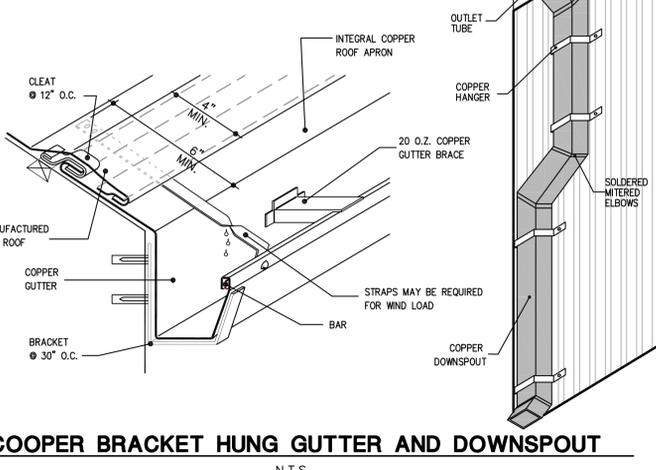
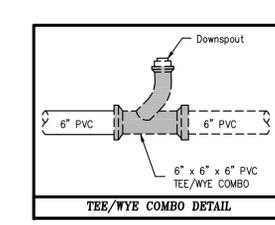
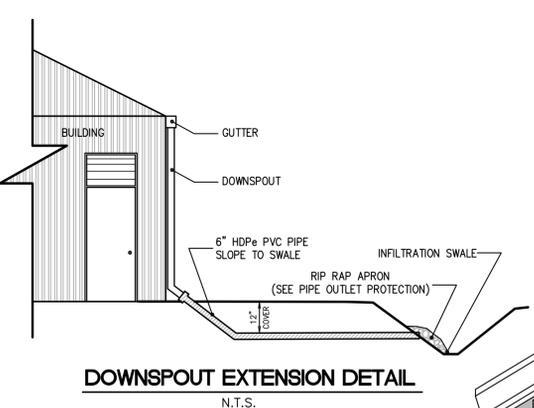
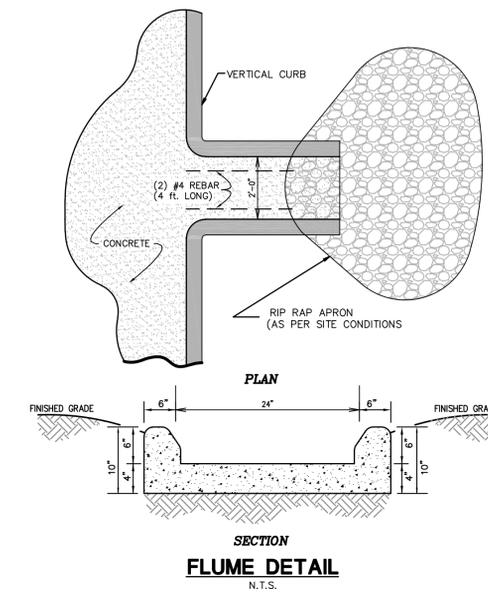
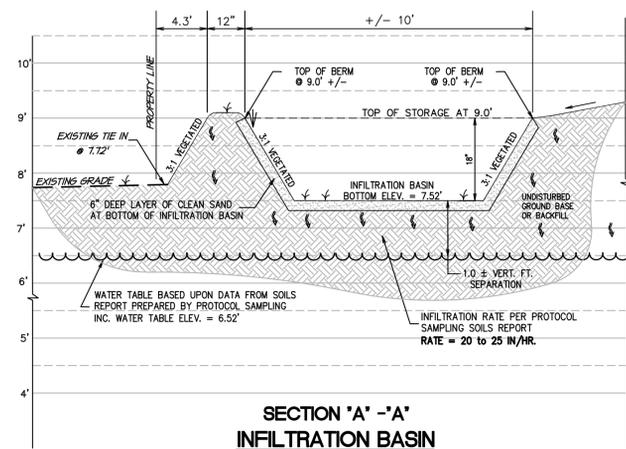
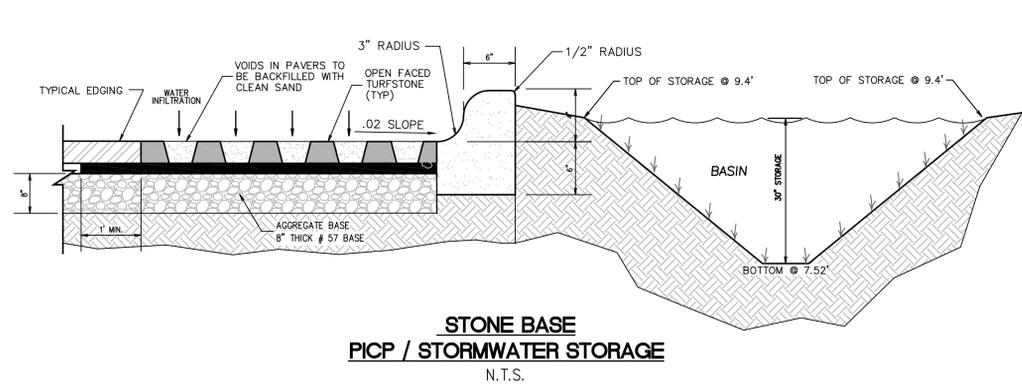
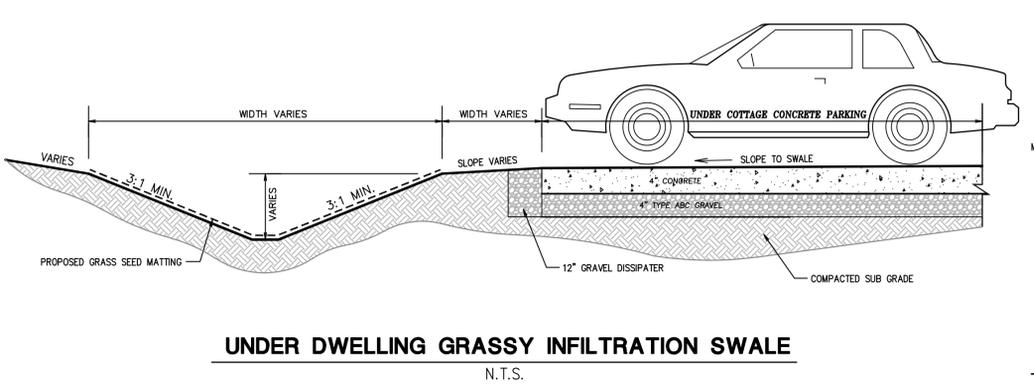
CAD FILENAME: 226733 SCALE: 1" = 20'-0"



DI2436
24"x36" CURB and YARD INLET
WITH CAST IRON FRAME GRATE, AND HOOD
INLET BOX DETAIL
 N.T.S.



Concrete Valley Channel Drain
 N.T.S.



- L = THE LENGTH OF THE RIPRAP APRON
- d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 12 INCHES
- A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIP RAP AND SOIL FOUNDATION.
- IN A WELL-DRENCHED CHANNEL, EXTEND THE APRON UP THE CHANNEL BANKS TO 6 INCHES ABOVE THE MAXIMUM TAILWATER DEPTH OR THE TOP OF THE BANK, WHICHEVER IS LESS.

ENGINEER SEAL

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Grading and Drainage Detail Plan
 For: **Village West**
 Location: **207 West Martin Street**
 Parcel in Kill Devil Hills
 Kill Devil Hills Dare County North Carolina

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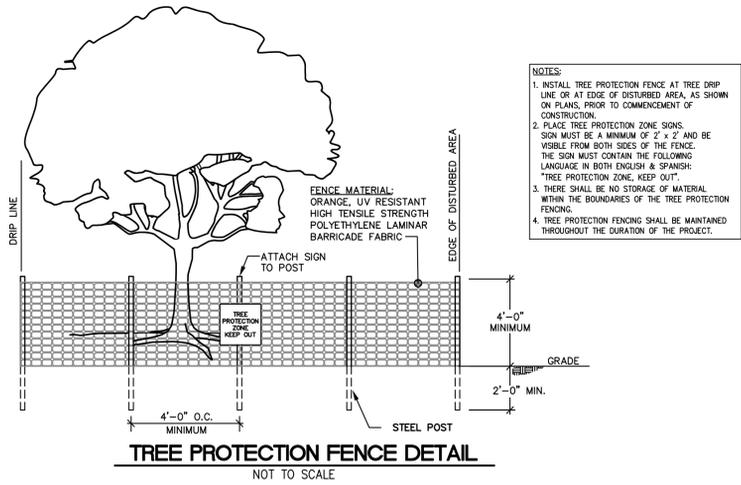
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SIZE	PROJECT NUMBER	REV	SHEET NO.
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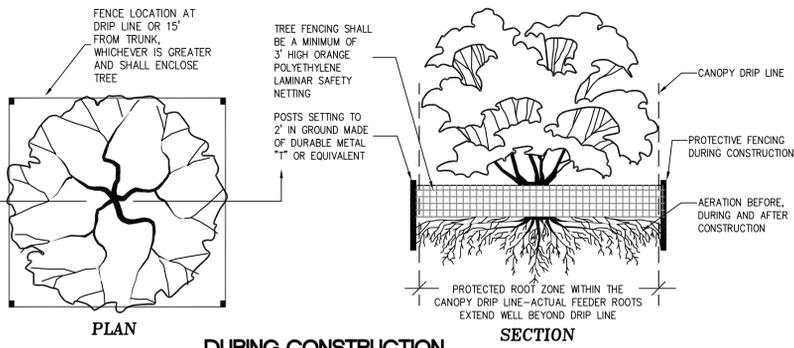
CAD FILENAME: 226733 SCALE: 1" = 20'-0"

TREE PRESERVATION NOTES

- ALL TREES NOT LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE OF DISTURBED AREAS SHALL BE PRESERVED. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL TREES TO BE PRESERVED FROM HIS ACTIVITIES.
- ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION ON THE PLANS, SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING. SEE: TREE PROTECTION FENCE DETAIL THIS SHEET
- TREE PROTECTION FENCES SHALL BE ERRECTED ACCORDING TO TOWN OF KDH STANDARDS FOR TREE PROTECTION, INCLUDING TYPES OF FENCING AND SIGNAGE.
- TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
- EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIFLINES.
- FENCES SHALL COMPLETELY SURROUND THE TREE OR CLUSTERS OF TREES, LOCATED AT THE OUTERMOST LIMITS OF THE TREE BRANCHES (DRIFLINE) OR CRITICAL ROOT ZONE (CRZ), WHICHEVER IS GREATER, AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT IN ORDER TO PREVENT THE FOLLOWING:
 - SOIL COMPACTION IN CRZ AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIAL.
 - CRZ DISTURBANCES DUE TO GRADE CHANGES OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE FORESTRY MANAGER.
 - WOUNDS TO EXPOSED ROOTS, TRUNK, OR LIMBS BY MECHANICAL EQUIPMENT
 - OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CONCRETE TRUCK CLEANING, AND FIRES.
- ALL GRADING WITHIN CRZ AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE. PRIOR TO GRADING, RELOCATE PROTECTIVE FENCING TO 2 FEET WITHIN THE GRADE CHANGE AREA.
- NO LANDSCAPE TOPSOIL DEPRESSING GREATER THAN FOUR (4) INCHES SHALL BE PERMITTED WITHIN THE DRIFLINE OR CRZ OF TREES, WHICHEVER IS GREATER. NO TOPSOIL IS PERMITTED ON ROOT FLARES OF ANY TREE.
- WOODED AREAS ARE NEW GROWTH, WITHIN THE LAST 20 YEARS, EXISTING LIVE OAKS THAT ARE HEALTHY ARE TO BE PRESERVED AS PER PLAN



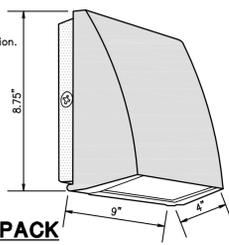
- NOTES:**
- INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - PLACE TREE PROTECTION ZONE SIGNS. SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION ZONE, KEEP OUT".
 - THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
 - TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.



ROOT ZONE and DRIP LINE PROTECTION

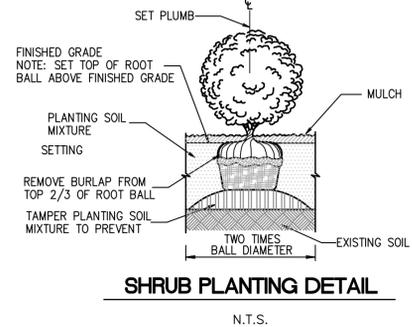
LIGHTING NOTES

- ALL LIGHT PRODUCED ON SITE SHALL BE CONTAINED WITHIN THE PERIMETER OF THE SITE BY DESIGN, ORIENTATION OR SHIELDING OF THE LIGHT SOURCE
- Mounting: Die-cast back box with four (4) conduit entry points and knockout pattern for junction box or direct wall mounting. Hinged housing and bubble level for easy installation.
- Full Cutoff: Full cutoff meets dark-sky requirements
- Recommended Mounting Height: Up to 20 ft
- RAB 12 Watt SLIM Wallpacks are designed to cover the footprint of most traditional wallpacks. They are suitable for mounting heights from 15' to 30'. These ultra-high efficiency fixtures are full cutoff



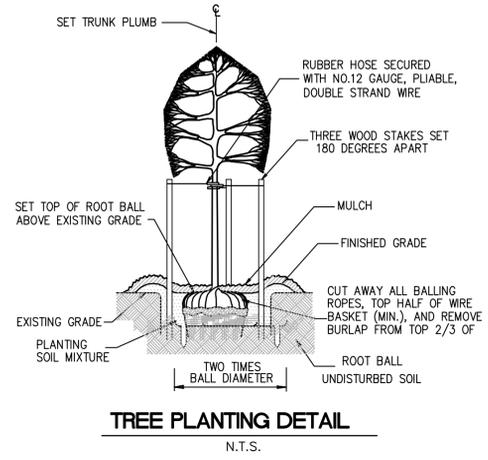
RAB SLIM POLE AND WALLPACK (MODEL# SLIM12N)

NOT TO SCALE



SHRUB PLANTING DETAIL

N.T.S.



TREE PLANTING DETAIL

N.T.S.

LANDSCAPE NOTES

- Landscape areas shall be properly maintained. The owner shall be notified in writing by the zoning official of the town of any areas which are not being properly maintained, and the owner shall, within 15 calendar days of receipt of the notice, restore the landscaped area to a satisfactory condition, meet the requirements of this code.
- Landscaping shall not be considered to be complete until after 90 days of healthy growth. Contractor shall be responsible to replace all unhealthy or dead landscaping. Contractor shall remain responsible for all replaced landscape with the 90 day healthy growth requirement. Being applicable to all replaced landscaping.
- Dig planting hole no deeper than the root ball height. Excavate hole 2-3 times the width of the root ball diameter.
- Roughen the sides of the planting hole, before placing the tree in the planting hole, prune only dead or broken branches and remove any tree wrap, tape, string, and tags from tree trunk and branches.
- Gently lower the tree into the hole so that the trunk flare is at or slightly above the original grade.
- Backfill 1/3 of the planting hole with original soil to stabilize root ball and keep tree upright.
- Cut and remove top 2/3 of the wire basket. Cut and remove top 2/3 of the burlap from completely backfill hole with original soil and add soil amendment if needed.
- Create a mulch ring around the tree and a 3-6" high soil and mulch berm at the edge of the hole. Keep mulch away from the trunk.
- Contractor shall be responsible for all plant counts and square footage. If any part of this plan can not be followed due to site conditions contact owner/town prior to commencing work.
- All trees in rows to be aligned unless shown otherwise
- Plant all trees a minimum of 2 feet from any drain lines. The Landscape contractor shall verify the location of all drain lines prior to commencing work.
- Trees are to be a minimum of 3 1/2 feet away from any hardscape such as curbs, walks parking stalls, ect.
- Prior to any excavating to any landscaping purposes, the location of all under ground utilities shall be determined.
- Grass and ground cover. Ground cover shall be placed or planted on all disturbed portions of exposed ground or earth not occupied by natural or other landscape material.
- All dumpster's shall be screened on three sides by a fence. The screening shall exceed the height of the intended container by 12 inches. The opening for the removal of trash pickup shall allow for a clearance of 12 inches on each side of the container and 24 inches at the rear of the container. Design shall be approved by the Department of Public Services, Public Works Division.
- Any existing natural landscape shall be preserved whenever possible. Existing natural landscape that meets minimum requirements may be credited towards the proposed landscape requirements.
- Where a vegetative screen is required between two incompatible uses, the perimeter landscape area shall contain one shrub, at least 30 inches high planted 2/3 feet on center. The type of shrub used needs to be capable of attaining a height of at least 6 feet at maturity. Plant materials and/or planted berms shall be installed so as to screen the parking areas from adjacent properties and streets.
- Within the sight triangle, no plant material, signage or any other obstruction shall interfere with an individual's vehicle sight line. No plant material shall exceed 30 inches in height at maturity; trees shall be trimmed so that branches are at least seven feet above curb level
- plants shall be sufficiently sized to ensure screening within three years. Where a vegetative screen is required, plant materials shall be sufficiently sized as practicable to ensure obscuring within three years. Seeding plants may be used where berms or structures are required or where the proposed use is contiguous to a street or vacant land that does not have proposed development in the review process.



WPLED52

LED 52W Wallpack. 3 cutoff options. Patent Pending thermal management system. 100,000 hour L70 lifespan. 5 Year Warranty.

Color: Bronze Weight: 17.6 lbs

RAB LIGHTING

Project: _____ Type: _____

Prepared By: _____ Date: _____

Driver Info	LED Info
Type: Constant Current	Watts: 52W
120V: 0.51A	Color Temp: 5000K
208V: 0.33A	Color Accuracy: 73 CRI
240V: 0.29A	L70 Lifespan: 100000
277V: 0.24A	Lumens: 7122
Input Watts: 59W	Efficacy: 121 LPW
Efficiency: 89%	

Technical Specifications

UL Listing: Suitable for wet locations.

DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

LED Characteristics

Lifespan: 100,000-hour LED lifespan based on ES LM-80 results and TM-21 calculations.

LEDs: Two (2) multi-chip, high-output, long-life LEDs.

Color Consistency: 7-step MacAdam Ellipse binning to achieve consistent future-to-future color.

Color Stability: LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Electrical

Drivers: Two drivers, constant current, 720mA, Class 2, 100-277V, 50-60 Hz, 100-277VAC, 8 Amps.

RAB LIGHT DETAIL (WPLED52)

N.T.S.

WPLED52

Technical Specifications (continued)

Other: Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical: BUG Rating: 80 U2 G3

Dimensions: [Diagram showing dimensions: 11.5" height, 6.75" width, 4" depth]

Features: High performance LED light engine. Maintains 70% of initial lumens at 100,000 hours. Weatherproof high temperature silicone gaskets. Superior heat sinking with die cast aluminum housing and external fins. Replaces 250W MH. Traditional wallpack look from the front. 3 cutoff options. 5-year warranty.

Ordering Matrix:

Family	Cutoff	Wattage	Color Temp	Finish	Driver Options	Options
WPLED		52				

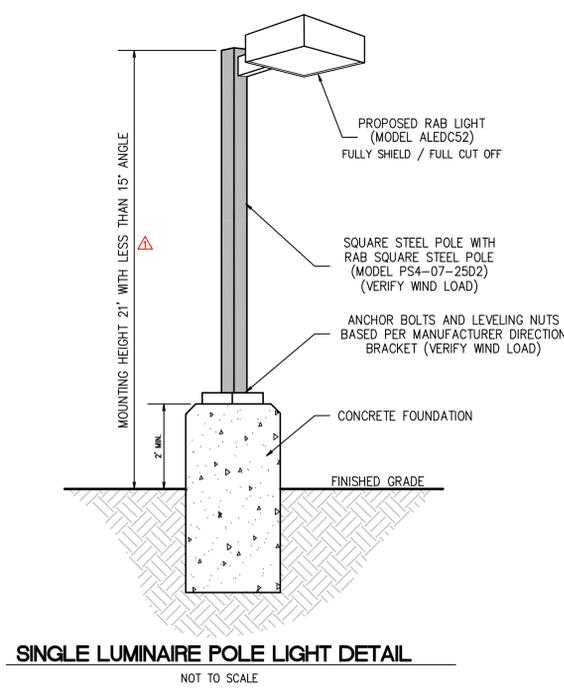
Blank = Standard (15°) C = Cutoff (7.5°) 80 = 80W Blank = 5000K (Cool) Blank = Bronze Blank = 120-277V N = 4000K (Neutral) W = White I4B = 480V IBL = Bi-Level I/D10 = 0-10V Dimming I/PCS = 120V Sevel Protocol I/PCS2 = 277V Sevel Protocol I/PCS4 = 480V Sevel Protocol I/LC = Lightcloud®

Lighting Notes:

- Light fixtures shall be located on the site and designed, shielded, or oriented in such a manner as to minimize light spill across property lines and prevent glare at any location on or off the property.
- Except for fixtures which are permitted by this Article to be used for vertical illumination or for multi-purpose recreation fields, all light fixtures shall be cut-off fixtures as defined in Appendix A - Definitions.
- All wiring to light fixtures not located on a building shall be placed underground.
- Principal buildings shall provide security lighting.
- Light fixtures and supporting structures shall be designed and constructed to comply with state building code requirements.
- No light fixture, including signs, shall exceed thirty-five (35) feet in height, except as specified in subsections 10.34.7 or 10.37.5.6. Where existing nonconforming light fixtures exist, including signs, such light fixtures and sign may be replaced provided there is no increase in the degree of nonconformity.

LIGHTING NOTES

- ALL LIGHT PRODUCED ON SITE SHALL BE CONTAINED WITHIN THE PERIMETER OF THE SITE BY DESIGN, ORIENTATION OR SHIELDING OF THE LIGHT SOURCE



SINGLE LUMINAIRE POLE LIGHT DETAIL

NOT TO SCALE

LIGHTING NOTES

- REFER TO TOWN OF KILL DEVIL HILLS ORDINANCE, SECTION 48-326 and 48-328 - Lighting plan required. (EXTERIOR LIGHTING)
- DOMINION POWER MAY PROVIDE SITE LIGHTING - OWNERS OPTION.
- EXTERIOR LIGHTING SHALL BE FIXTURES WITH TRUE FULL CUT-OFF AND FULLY SHIELDED. WALL PACKS LIGHTS SHALL BE MOUNTED 9' ±
- EXTERIOR LIGHTING CONTROLLED BY A TIMER SYSTEM. FOR STANDARD TIME, LIGHTS SHALL BE SET TO TURN ON AT 5:00 PM AND OFF AT 7:00 AM. FOR DAYLIGHT SAVING TIME, LIGHTS SHALL BE SET TO CUT ON AT 7:00 PM AND TURN OFF AT 6:00 AM, UNLESS OTHERWISE SPECIFIED BY THE USE DEMAND OR THE PROPERTY OWNER AND/OR TOWN OF KILL DEVIL HILLS.
- ALL WALL MOUNTED SITE LIGHTS TO BE PROVIDED WITH MANUAL OVERRIDES.
- LIGHT POLE FOUNDATION TO BE DESIGNED BY A STRUCTURAL ENGINEER. POLE MOUNTING DETAIL TO BE PROVIDED BY STRUCTURAL ENGINEER. LIGHT POLE BASE DETAIL SHOWN HEREON IS FOR ELECTRIC & CONDUIT LAYOUT.
- ALL ARCHITECTURAL AND LANDSCAPE LIGHTING TO BE 40 WATTS OR LESS.
- LUMINARY CALCULATIONS BASED ON THE PROPOSED SITE LOCATION, LIGHT POLE HEIGHT AND FIXTURE AND ARE APPROXIMATE. FOOTCANDLE READINGS AT THE PROPERTY LINES SHALL BE CERTIFIED BY A REGISTERED ENGINEER BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED FOR THE STRUCTURE.
- ILLUMINATION STANDARDS MUST BE MET PRIOR TO FINAL APPROVAL.
- IN NO INSTANCE SHALL ILLUMINATION LEVELS WITH IN THE SITE EXCEED 30 FOOT CANDLES
- ALL LIGHTING ILLUMINATION SHALL MEET INTERNATIONAL DARK SKY REQUIREMENTS
- ALL UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC AND BE A MINIMUM OF 1 INCH, UNLESS NOTED OTHERWISE.
- ALL ELECTRIC WIRING FOR POLE MOUNTED LIGHTS SHALL BE UNDERGROUND.
- CONTRACTOR TO PROVIDE PROTECTION FROM PHYSICAL DAMAGE FOR SWITCHBOARDS, PANEL BOARD AND OTHER ELECTRICAL EQUIPMENT (3' FROM EQUIPMENT)

ENGINEER SEAL

Firm Certification of C-1955
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HOUSE ENGINEERING, P.C.

Post Office Box 466 - 6475 N. Croatan Hwy, Suite 201
Kitty Hawk North Carolina 27949

Office# (252) 261-8253 E-Mail: info@houseengineering.net

Landscape and Lighting Detail Plan

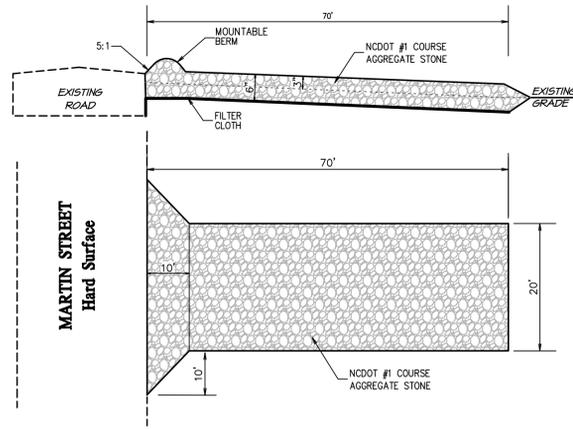
For: **Village West**
Location: **207 West Martin Street**
Parcel in Kill Devil Hills
Kill Devil Hills Dare County North Carolina

APPROVALS	DATE
Drawn: D. NEFF	05/15/23
Checked: R. HOUSE	05/15/23
Engineer: R. HOUSE	05/15/23

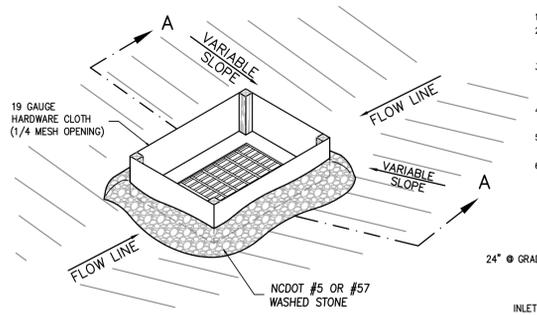
No.	Date	Description
1	05/15/23	STAFF COMMENTS

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	C8 of 8

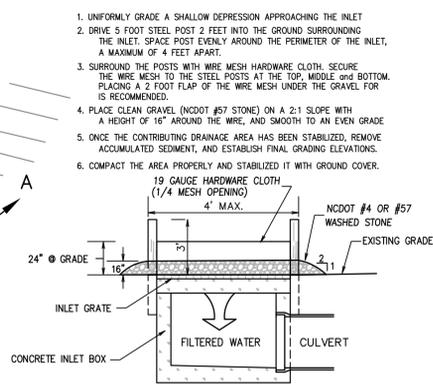
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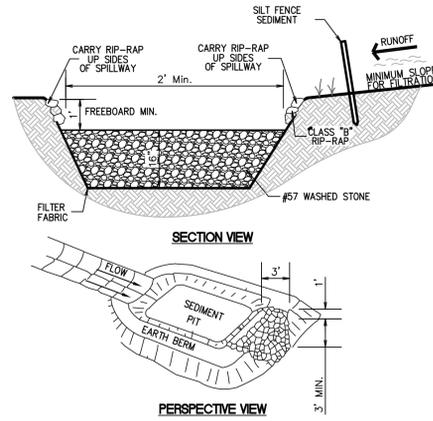
PROPOSED GRAVEL CONSTRUCTION ENTRANCE
(IF EXISTING CONCRETE DRIVEWAY DEEMED UNUSABLE)
N.T.S.



SILT BARRIER FENCE FOR INLET PROTECTION
N.T.S.



**PRE DEVELOPMENT
TEMPORARY SEDIMENT BASIN**
N.T.S.



Seeding Specifications

PERMANENT VEGETATION

SEEDING DATES: APRIL 1 — SEPT 30

SEED MIXTURE	APPLICATION RATES/ACRE
BAHIA	50 LBS.
COMMON BERMUDA (UNHULLED)	50 LBS.
GERMAN MILLETT	15 LBS.
FESCUE	20 LBS.
FERTILIZER	26-13-13 @ 500 LB/ACRE
MULCH	APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.
BEACH GRASS	SPRIG AT 6" O.C.

TEMPORARY VEGETATION

SEEDING DATES: OCT. 1 — MARCH 31

SEED MIXTURE	APPLICATION RATES/ACRE
RYE GRASS	175 LBS.
FERTILIZER	10-10-10 @ 1000 LB/ACRE
MULCH	APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

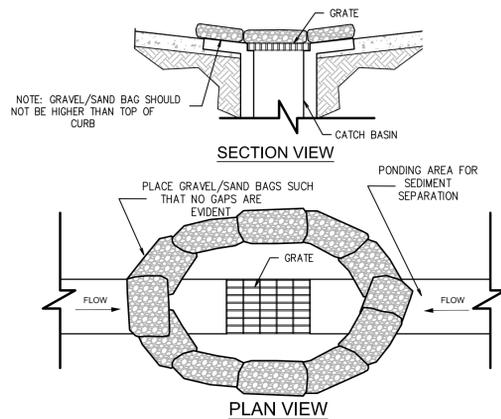
GENERAL:
 - FERTILIZER RATES SHOWN ARE GENERAL RECOMMENDATIONS. FREQUENCY AND AMOUNT OF FERTILIZATION CAN BEST BE DETERMINED THROUGH SITE SPECIFIC SOIL TESTING.
 - SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER EVEN SMALL BREACHES IN VEGETATIVE COVER CAN EXPAND RAPIDLY IF LEFT UNATTENDED. A SINGLE HEAVY RAIN IS OFTEN SUFFICIENT TO GREATLY ENLARGE BARE SPOTS, AND THE LONGER REPAIRS ARE DELAYED THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDLINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLS DEVELOP THEY MUST BE FILLED, RE-SEEDED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.
 MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE
 WEAK OR DAMAGED SPOTS MUST BE RELIED, FERTILIZED, MULCHED AND RE-SEEDED AS PROMPTLY AS POSSIBLE. REFERTILIZATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STANDS.

ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED ACCORDING TO THE FOLLOWING SPECIFICATIONS:

SOIL EROSION + SEDIMENT CONTROL PLAN NOTES:

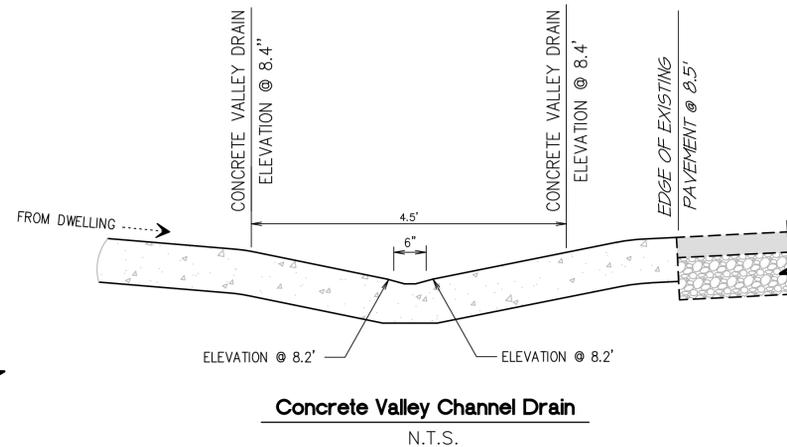
CONTROL PLAN NOTES:

- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- FLAG AND/OR ROUGH STAKE WORK LIMITS.
- HOLD PRECONSTRUCTION CONFERENCE (OWNER, CONTRACTOR, ENGINEER, AND APPROPRIATE GOVERNMENT OFFICIALS) AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION ACTIVITIES.
- INSTALL SILT AND SAND FENCING @ LOCATIONS SHOWN ON PLAN
- COMPLETE CLEARING AND GRUBBING PROCEDURES.
- GRADE SITE ACCORDING TO PLAN
- ALL EROSION SEDIMENT CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER HEAVY RAINFALL EVENTS. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
- NO DEBRIS WILL BE BURIED ON THIS SITE.
- ALL EROSION AND SEDIMENT CONTROL, STORMWATER MANAGEMENT AND DRAINAGE DESIGN SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA SEDIMENT AND STORMWATER REGULATIONS AND WITH THE TOWN OF Kill Devil Hills CODE.
- EXISTING UTILITIES ARE IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE GOVERNING UTILITY COMPANIES (3) THREE DAYS PRIOR TO CONSTRUCTION IN ORDER TO VERIFY THE UTILITY LOCATIONS IN THE FIELD.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY AND ALL DAMAGES DONE TO THEM DUE TO HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPETENTLY REPAIRED AT HIS EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS, INSURANCE, BONDS, ETC. REQUIRED BY LOCAL, STATE AND/ OR FEDERAL AGENCIES NECESSARY FOR CONSTRUCTION.
- PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- PROPOSED AREA TO BE DISTURBED IS (+/-) 79,769 SQ. FT.)
- ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN THIRTY DAYS OF LAND DISTURBING ACTIVITIES. IF SAID ACTIVITIES OCCUR OUTSIDE THE PERMANENT VEGETATION SEEDING DATES (APR. 1 — SEP.30) THEN TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING PERIOD, AT WHICH TIME PERMANENT VEGETATION SHALL BE ESTABLISHED ACCORDING TO PERMANENT VEGETATION SEEDING SPECIFICATIONS (SEE PERM. & TEMP. SEEDING SPEC'S THIS SHEET.)
- IF EXCESSIVE WIND EROSION OR STORMWATER RUNOFF EROSION DEVELOPS DURING CONSTRUCTION IN ANY LOCATION ON THE PROJECT, ADDITIONAL SAND OR SILT FENCING SHALL BE INSTALLED AS DIRECTED BY ENGINEER SO AS TO PREVENT DAMAGE TO ADJACENT PROPERTY. SEE SAND AND SILT FENCE DETAIL THIS SHEET.
- SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT CONTROLS ARE ESTABLISHED PER CONSTRUCTION SCHEDULE.

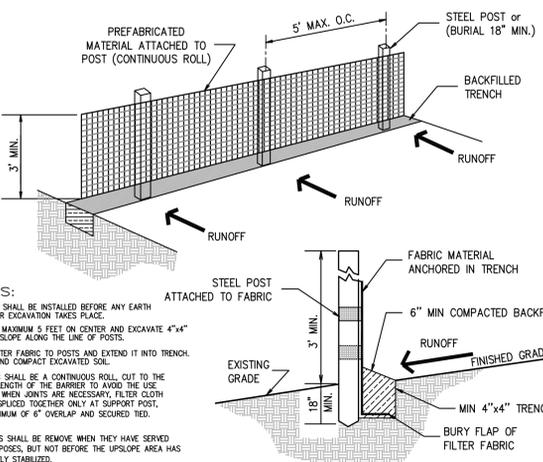


TEMPORARY INLET PROTECTION
N.T.S.

- NOTES:
- PLACE GRAVEL BAG BARRIER ON GENTLY SLOPING STREET, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 - USE SAND BAGS OF WOVEN GEOTEXTILE FABRIC (NOT BURLAP) AND FILL WITH (OR SMALLER) GRAVEL. BAGS MUST BE LAYERED SUCH THAT NO GAPS ARE EVIDENT.
 - INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.
 - WHEN INSTALLING CURB INLET PROTECTION DEVICES, NEVER BLOCK THE CURB INLET.

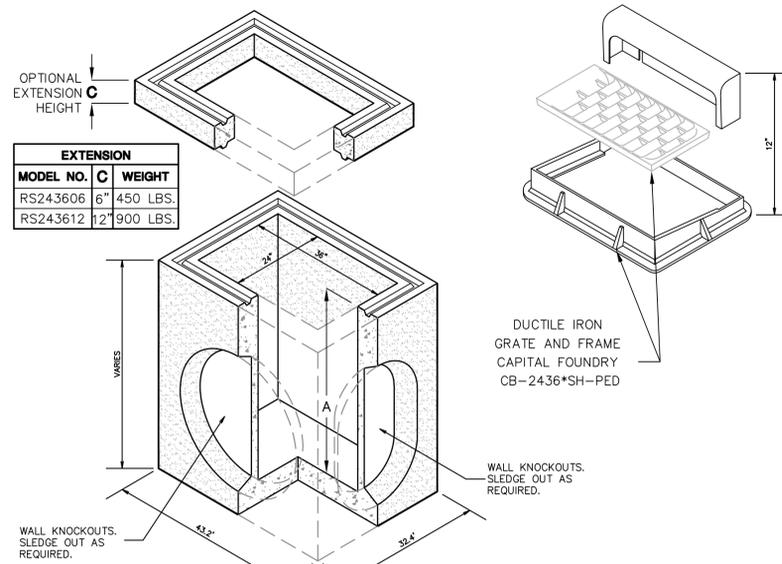


Concrete Valley Channel Drain
N.T.S.



- NOTES:
- SILT FENCE SHALL BE INSTALLED BEFORE ANY EARTH REMOVAL OR EXCAVATION TAKES PLACE.
 - SET POSTS MAXIMUM 5 FEET ON CENTER AND EXCAVATE 4"x4" TRENCH UPSLOPE ALONG THE LINE OF POSTS.
 - ATTACH FILTER FABRIC TO POSTS AND EXTEND IT INTO TRENCH. BACKFILL AND COMPACT EXCAVATED SOIL.
 - THE FABRIC SHALL BE A CONTINUOUS ROLL, CUT TO THE REQUIRED LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POSTS, WITH A MINIMUM OF 6" OVERLAP AND SECURED TIED.
 - SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR PURPOSES, BUT NOT BEFORE THE UPLAND AREA HAS BEEN PERMANENTLY STABILIZED.

SILT FENCE DETAIL
N.T.S.



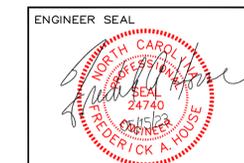
**D12436
24"x36" CURB and YARD
INLET
WITH CAST IRON FRAME
GRATE, AND HOOD
INLET BOX DETAIL**
N.T.S.

BOX DESIGN LOAD: H=20 FULL TRAFFIC
 FOR COMPLETE DESIGN AND PRODUCT INFORMATION, CONTACT JENSEN PRECAST.

EROSION AND SEDIMENT CONTROL

MAINTENANCE NOTES

- PERIODICALLY CHECK ALL GRADED AREAS AND THE SUPPORTING EROSION AND SEDIMENTATION CONTROL PRACTICES, ESPECIALLY AFTER HEAVY RAINFALLS. PROMPTLY REMOVE ALL SEDIMENT FROM DIVERSIONS AND OTHER WATER- DISPOSAL PRACTICES. IF WASHOUTS OR BREAKS OCCUR, REPAIR THEM IMMEDIATELY. PROMPT MAINTENANCE OF SMALL ERODED AREAS BEFORE THEY BECOME SIGNIFICANT GULLIES IS AN ESSENTIAL PART OF AN EFFECTIVE EROSION AND SEDIMENTATION CONTROL PLAN.
- ALL EROSION AND SEDIMENT CONTROL MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION PHASE AND THE PROPERTY OWNER THEREAFTER.
- PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING, AND A PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION-CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 21 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.



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 Post Office Box 466 - 6475 N. Croatan Hwy, Suite 201
 Kill Hawk North Carolina 27349
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APPROVALS	DATE
Drawn: D. NEFF	05/15/23
Checked: R. HOUSE	05/15/23
Engineer: R. HOUSE	05/15/23

No.	Date	Description
△	05/15/23	STAFF COMMENTS

Soil Erosion and Sedimentation Control Detail Plan			
For: Village West			
Location: 207 West Martin Street			
Parcel in Kill Devil Hills			
SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	SC2 OF 2
CAD FILENAME: 226733		SCALE: As Noted	