



TOWN OF KILL DEVIL HILLS

Land Where Flight Began

NOTICE OF PUBLIC MEETING

NOTICE IS HEREBY GIVEN that on Tuesday, May 16, 2023, at 5:30 p.m., the Kill Devil Hills Planning Board will hold its regular meeting of the month in the Town Hall Meeting Room, located at 102 Town Hall Drive, Kill Devil Hills.

A printed packet is available for public inspection in the Planning Department, 102 Town Hall Drive. To schedule an inspection time, contact the Department at 252-449-5318. Packet materials can be viewed on the Town's website at <https://www.kdhnc.com/743/Meetings-Agendas-Packets-Minutes>.

Written public comments for the Planning Board can be emailed to info@kdhnc.com. Comments must include your name and address and are limited to three minutes for individuals, and five minutes when speaking for a group.

AGENDA

Call to Order

Agenda Approval

Approval of the Minutes of the March 21, 2023, meeting

Public Comment

Response to Public Comment

Ongoing Business

New Business:

1. Site Plan Review — 207 W. Martin Street — Proposed Cluster Home Development in the Low Density Residential Zone — Including 10 “3-bedroom” and 11 “2-Bedroom” Long-Term Residential Units
2. Zoning Amendment Request – §153.180(C) Commercial Zone Density – Change Density Measurement to Floor Area Ratio (FAR)
3. Election of Vice-Chairperson

Public Comment

Response to Public Comment

Board Member Comment

Adjournment

Posted this 11th day of May 2023.

Jennifer Stecher

Administrative Assistant/Deputy Town Clerk

Copies to: Mayor and Board of Commissioners, Planning Board members in their packet materials; Town Manager; Town bulletin boards; Sunshine List, including all news media; Electronic Distribution List; Town website and social media; file

Minutes of the Tuesday, March 21, 2023, meeting of the Kill Devil Hills Planning Board held at 5:30 p.m. in the Town Hall Meeting Room of 102 Town Hall Drive, Kill Devil Hills.

Members Present: Chairperson Howard Buchanan, Becky Breiholz, Mike Lowack, Natalie Painter, and, Ron Seidman, II

Members Absent: T. Dillon Heikens and Mary Simpson

Others Present: Cameron Ray, Assistant Planning Director; Ryan Lang, Senior Planner; and Jennifer Stecher, Administrative Assistant/Deputy Town Clerk

Call to Order

At 5:31 p.m., Chairperson Howard Buchanan called the Tuesday, March 21, 2023, meeting of the Kill Devil Hills Planning Board to order.

Agenda Approval

Natalie Painter moved to approve the agenda for this meeting, as presented. Ron Seidman seconded the motion, and the motion carried by a unanimous, 5-0, vote.

Approval of the Minutes of the January 17, 2023 meeting

Becky Breiholz moved to approve the minutes of the January 17, 2023, meeting, as presented. Natalie Painter seconded that motion, and the motion carried by a unanimous, 5-0, vote.

Public Comment

Response to Public Comment

Ongoing Business

New Business

1. Site Plan Review — 1630 N. Croatan Highway — Emergency Services Facility: Dare County EMS Station 1 / KDH Fire Station 14

The proposed site plan review has been submitted by the Timmons Group for the proposed construction of an Emergency Services Facility at 1630 N. Croatan Highway. This

proposed site will be a joint facility for Dare County EMS Station 1 and Kill Devil Hills Fire Station 14. The proposed plan calls for the demolition of an existing restaurant and the construction of a 35,814-square-foot emergency services facility, 51 parking spaces, and associated site improvements. The commercial site plan application, proposed site plan, proposed architectural plan, drainage narrative, and KDHWTP agreement are part of the meeting packet. Assistant Planning Director Cameron Ray noted the Timmons Group took extra time to make sure the plans were compliant with all of the Town's zoning requirements.

At its March 13, 2023 meeting, the Board of Commissioners approved the lease agreement between the Town of Kill Devil Hills and Dare County for the proposed Dare County EMS Station 1 and KDH Fire Station 14 shared facility at 1630 N. Croatan Highway. The existing EMS Station 1 and Fire Station 14 buildings are owned by the Town of Kill Devil Hills and will be utilized for different purposes in the future.

Staff recommended the Planning Board forward the site plan with a favorable recommendation to the Board of Commissioners.

Mr. Lowack asked for clarification about the drainage document. Mr. Jason Mizelle with Timmons Group explained that the plan is to counteract the drainage by storing it to allow controlled release due to the limited space in the area of the site plan. The stormwater requirements are based on a 10-year 24-hour storm event that the plan meets, and at some points exceeds, the Town standards. Mr. Lowack inquired about the record of subsurface exploration, and what it means that cave-in is at 4.5 feet. Mr. Mizelle explained that the soil at that level does not have enough stability.

Mr. Lowack moved to forward the proposed site plan at 1630 N. Croatan Highway Emergency Services Facility: Dare County EMS Station 1 / KDH Fire Station 14 to the Board of Commissioners with a favorable approval. Ms. Painter seconded the motion, and the motion carried by a unanimous, 5-0, vote.

2. Proposed Zoning Amendment — §153.211(B) Light Industrial Two Zone & §153.231(B) Light Industrial One Zone — Modify Mixed Use Development Setback Requirements

At an October 18, 2022, joint meeting, the Planning Board and Board of Commissioners discussed options that the Town has to promote long-term housing and try to alleviate the housing issue in the community. Several options were presented by Staff for consideration. One of those options was to relax setbacks for mixed-use development in the Light Industrial Zones. In October 2020, the Board of Commissioners adopted an amendment to relax setbacks for mixed-use development in the Commercial Zone. Currently, setbacks for commercial development in the Light Industrial 1 and 2 Zones are a minimum 10-foot side yard, 30-foot front yard, and 5-foot rear yard. For mixed-use development, the setbacks for lots over 7,500 are a 10-foot side yard, 30-foot front yard, and 30-foot rear yard. The current variation in setbacks for commercial and mixed-use makes redevelopment of existing structures not possible. Staff recommended amending mixed-use setbacks in the Light Industrial 1 and 2 Zones to match the

commercial setbacks unless abutting the Residential Low Zoning District, which will help to protect single-family dwellings from more intense land use.

Planning Staff recommended the Planning Board forward the zoning amendment to the Board of Commissioners with a favorable recommendation.

Ms. Breiholz asked for clarification on mixed-use setbacks and the lots this proposed amendment would affect. Mr. Ray confirmed that the proposed zoning amendment would not change the threshold of setback, it would strictly be under commercial zone or mixed-use zone setbacks. Mr. Lowack asked how the proposed amendment would affect a corner lot. Mr. Ray explained that lots on a side street would have their own established setback classification.

Ms. Breiholz moved to approve and forward the proposed Zoning Amendment — §153.211(B) Light Industrial Two Zone and §153.231(B) Light Industrial One Zone — Modify Mixed Use Development Setback Requirements with consistency statement to the Board of Commissioners with a favorable recommendation. Mr. Seidman seconded the motion, and the motion carried by a unanimous, 5-0, vote.

3. Proposed Zoning Amendment — §153.315 (B) Accessory Dwelling Units, §153.116 (C) Low Density Residential Zone Permitted Uses, §153.156 (E) High Density Residential Zone Permitted Uses — Add Accessory Dwelling Units for Long Term Occupancy

At an October 18, 2022, the Planning Board and Board of Commissioners held a joint work session to discuss options that the Town has to promote long-term housing and try to alleviate the housing issue in the community. Several options were presented by staff for consideration. One option presented was to allow accessory dwelling units (ADUs) in residential zoning districts with restrictions for long-term occupancy. The Board of Commissioners adopted an amendment for accessory dwelling units including definition, regulations, and permitted use in the Commercial, Light Industrial 1, permitted uses as an accessory to single-family dwellings and are required to comply with the regulations in §153.315.

The amendment proposes ADUs as permitted uses in the (RL) and (RH) zones including additional regulations that they can only be used for long-term occupancy. In July 2022, Cluster Homes were amended as a special use in the (RL) zone with similar regulations that required the dwellings to be used for long-term occupancy. The intent of the regulations for long-term occupancy for specific land uses in these zoning districts is to mitigate the long-term housing needs by promoting land uses for private developers for essential long term-housing. Planning Staff recommended forwarding the proposed zoning amendment and consistency statement to the Board of Commissioners with a favorable approval.

The group discussed the specific language that explains what long-term housing is, how the term is applied, and where the definition is in the Town Code. The group also discussed the possible difficulty for property owners obtaining a bank loan due to restrictions, parking limitations versus lot coverage, considerations of a duplex versus ADU definitions, and the possibility of permitting proposed zoning amendment on a case-by-case basis and its enforceability. The group was in consensus that time will tell if this will work within the town.

This gives property owners another tool in the toolbox for land uses and produces an option for long-term housing.

Mr. Lowack moved to approve and forward the proposed Zoning Amendment — §153.315(B) Accessory Dwelling Units, §153.116(C) Low Density Residential Zone Permitted Uses, §153.156(E) High Density Residential Zone Permitted Uses — Add Accessory Dwelling Units for Long Term Occupancy and its consistency statement to the Board of Commissioners with a favorable recommendation. Ms. Painter seconded the motion, and the motion carried by a unanimous, 5-0, vote.

Public Comment

Duke Geraghty, speaking on behalf of the Outer Banks Homebuilders Association, is optimistic about the proposed zoning amendments discussed and passed at the meeting. He believes it is a good ordinance and will be a positive change.

Response to Public Comment

Board Member Comment

Adjournment

There being no further business before the Planning Board at this time, Mr. Seidman moved to adjourn the meeting. Ms. Breiholz seconded the motion, which passed with a unanimous, 5-0, vote.

It was 6:05 p.m.

Submitted by:

Jennifer Stecher
Administrative Assistant/Deputy Town Clerk

Director of
Planning and Inspections
MEREDITH GUNS

Building Inspector
MARTY SHAW
CHARLES THUMAN

Code Enforcement Officer
JORDAN BLYTHE



Assistant Director of
Planning and Inspections
CAMERON RAY

Senior Planner
RYAN LANG

Zoning Administrator
DONNA ELLIOTT

**THE TOWN OF KILL DEVIL HILLS
NORTH CAROLINA**

PLANNING DEPARTMENT

May 16, 2023

Memorandum

To: Planning Board

From: Ryan Lang, Senior Planner *RL*

Subject: **SITE PLAN REVIEW— 207 W. Martin Street — Proposed Cluster Home Development in the Low Density Residential Zone — Including 10 “3-bedroom” and 11 “2-Bedroom” Long-Term Residential Units**

Enclosed is a site plan review submittal by House Engineering for the proposed construction of a 10 3-Bedroom and 11 2-Bedroom single family dwelling Cluster Home Development, drive aisle, and associated site modifications at 207 W Martin Street. The proposed cluster home development is a Special Use in the Residential Low Zone (see attached ordinance) As you recall the Board of Commissioners approved an amendment for Cluster Homes as a special use in the Residential Low Zone for Long Term Occupancy in July 2022. Attached you will find a copy of Chapter 153.117 *Special Uses Accessory Dwelling Units*, application, proposed site plan, proposed building elevations and floor plans and applicants response to Staff's Tech 2 comments.

The applicant has addressed most of staffs initial technical review comments; however the following conditions remain to be addressed:

Planning

1. Provide willingness to serve from KDHWTP, LLC for wastewater.
2. General Notes: Revise Typo “Long Term Occupancy” Revise 21 to 31.
3. Include Note: Lots to be combined by recombination plat.
4. Revise Sheet C8 Light Pole Detail Mounting Height

Public Services

Streets & Drainage

1. Public Services concurs with Town Engineer's comments regarding the drainage in the right-of-way with regards to the proposed storm piping grades and the need for the tilted grates due to available cover.

Water System

1. Move the water services to the Right-of-Way line and orient the meter boxes in each bank in a single row east to west. These will be used to set up account addressing for each of the meter accounts.
2. Each water meter will have its own separate connection to the water main.
3. Recommend showing water service plumbing layout downstream of the meter on the plan with size and type of material.
4. The fire line will need to be installed by a licensed utility contractor hired by the owner and will need to connect to the existing 6" waterline using a Stainless Steel Tapping Sleeve and Valve.
5. Provide make and model of RPDA and Enclosure on the plans and specify the fire line to be ductile iron on the Utility Plan.

Town Engineer

1. Martin Street drainage: We require some further changes to the Martin Street drainage system. We note that the "Existing Soil Data" on Sheet C3 indicates that the soils are Corolla fine sand (a moderately well drained soil), while the Protocol Sampling Service, Inc. report notes that it is Duckston fine sand (a poorly drained soil). Our review of the Web Soil survey indicates that about the northern 25% of the site is Corolla while the remaining 75% is Duckston. The permeabilities of the two soils are the same, but—as indicated by the Protocol report—the water table is shallower. To mitigate this fact and provide for, we want to go with 15" sock drain in Martin Street, to help manage the groundwater in the northern half of the site. The open ditch in Blue Jay Street, south of the Walgreens piping, will help draw down the southern half of the site. With this background, here are our specific requirements for the piping and structures along the south side of Martin Street, from just west of Blue Jay to just east of Fox Street:
 - a. Install the new Yard Inlet at Blue Jay, tying to the lowest possible invert (plans now show 6.0±). Please field-verify the existing 15" CMP invert.
 - b. Eliminate the sump, and begin the 15" HDPE at the same invert as the outbound 15" CMP. For the remainder of these comments, assume this is 6.10; if otherwise, adjust all inverts and rims accordingly.
 - c. The Yard Inlet at Blue Jay will need to be built-in-place per NCDOT 840.15. Orient it with the 3' dimension perpendicular to Martin, as now shown. Shift the inlet so the 15" pipe is at the far southern end of the structure. Tilt the frame and grate by 8" (two courses) for a Rim of 7.80 South, 7.13 North. This may leave the low-side (South) rim slightly higher than the bottom of the flume, which is OK.
 - d. Install the 15" HDPE "Sock Drain" westward at 0.05%. This may seem too flat, but it is KDH standard practice to install sock drain this flat, and even flatter. This will maximize the depth at the Martin/Fox intersection and along the site.
 - e. Continue 15" (instead of dropping to 12") all the way to Fox.
 - f. Shift the location of the upstream DI into the Fox/Martin intersection, stopping about 5' short of the fire hydrant branch. The invert should be about 6.25, and the rim about 7.85 North (to reduce steep slope from EP) and 7.18 South (to suit the roadside swale).

Fire Marshal

1. Revise turnaround to provide a smooth transition with template.

Staff recommends that the Planning Board forward the plan to the Board of Commissioners with a favorable recommendation after the above listed conditions have been addressed.

PLANNING DEPARTMENT

April 10, 2023

Memorandum

To: House Engineering

From: Ryan Lang, Senior Planner

Subject: **SITE PLAN TECHNICAL REVIEW 2 - 207 W Martin Street in the Residential Low Zone
Proposed Cluster Home Development**

Town of Kill Devil Hills

MAY 01 2023

Planning & Inspections Department

Staff has reviewed the plans and documentation for the above referenced proposed project and offers the following comments:

Planning-Ryan Lang (252-449-5315)

General:

1. Provide willingness to serve from KDHWTP, LLC. **Eddie to provide**
2. Sheet Index shows sheets C6 & C7, they are not included in plan set, please advise. **Print plus error will provide full sets** ✓

Add in General Notes on all sheets:

- a. Zoning: Low Density Residential: Special use "Cluster Home" For long-term occupancy. Remove short term occupancy. **Revised** ✓
- b. Recombination Plat or Legal Agreement shall be recorded prior to building permit issuance. **Surveyor to prepare.**
- c. All building shall be long term occupancy per 153.002. Include Definition "Long-Term Occupancy. A residential dwelling that is occupied and used for residency and housekeeping purposes for a period of 31 days or more and has a use agreement recorded with the Register of Deeds that requires 21 or more consecutive days' minimum occupancy by single tenant(s) in perpetuity." **Note Added** ✓
- d. Long-Term use agreement shall be recorded with Dare County Register of Deeds prior to issuance of a building permit. **Note Added** ✓
- e. Revise "NAVO 88". ✓
- f. Density: 12 units per acre. Note "Max Allowed" and "Proposed". **Note added** ✓

Sheet C2:

- a. Confirm sight triangles are 10'x20'. **Added Dimensions** ✓
- b. Proposed HVAC stands and units are not shown on site and included in lot coverage calculations, confirm proposed locations. **Added to Building plans ground floor (ground level under back deck.)** ✓
- c. Add "15' MBSL" to setback along Fox Street. **Added** ✓

Sheet SC1:

- a. Add to notes: "State Stormwater Permit Shall be required prior to permitting." **Added note** ✓
-

Elevations:

- a. Provide copies of the proposed 3 Bedroom Unit elevation and floor plan. **Print plus error.**
- b. Revise "Bedroom #3" to "Bedroom #2" on proposed 2 Bedroom Unit. **Architect revised**

Public Services -Derek Dail (252-480-4085)

Solid Waste

1. Add one additional dumpster to the dumpster site and revise the dumpster site in accordance with the attached Town four dumpster site diagram. **Dumpster added**

Streets & Drainage

1. Provide invert elevation and pipe size for the downstream culvert under Blue Jay Street, provide rim and invert for the drop inlet in the right-of-way at NW property corner and provide a stub pipe with plug to the west for future expansion. **Information added**
2. The connection of the existing pipe under Blue Jay Street will need to have a drop inlet installed to allow stormwater in the right of way to drain street runoff. **Concept added needs reviewed by Town Engineer**
3. Additional topo and existing conditions need to be provided up to Blue Jay Street to determine if proposed rim on the above mentioned drop inlet. **Information Added**
4. A shallow roadside swale will need to be graded in the Martin St. right-of-way and draining to proposed drop inlets. **Added, need reviewed**
5. Proposed grades at entrance do not match existing grades shown on Sheet 1. The proposed grades may need to be revised and a valley gutter be provided between the end of the west curb to the end of the east curb at the street. **Corrected and concrete valley drain added**
6. Show truck turn around template for fire/garbage truck in the hammerhead at the south end of the site. **Added at top of sheet C2**
7. Stormwater drop inlet details depict a 24"x24" box and grate. Drop inlets in the right-of way need to be a 24"x36" box and grate. Grate and frame shall be ductile iron Capitol Foundry item: CB-2436*SH-PED or approved equal. **Revised Box and added Grate**
8. Provide heavy duty paver specifications on plans to support trash truck and firetruck at the hammerhead. **Added 1" more stone base as per PICP manufacturer requirement for emergency loads.**
9. Recommend showing water service plumbing layout on the plan with size and type of material.

Water System **meter banks added**

1. Relocate the water meters to two meter banks on each side of the driveway close to the east and west property corners on the property line along Martin St. to serve properties on each side of the drive isle. Show individual service lines for each meter to the existing water line in Martin Street and indicate water services to be installed by the Town of Kill Devil Hills. **Added water services**
2. The six-inch water line providing fire service will be a private fire line on the property and will require a Reduced Pressure Detector Assembly RPDA to be located at or near the property line.
3. Provide note on the plans that the fire hydrant main is to be constructed in accordance with the Town of Kill Devil Hills Standard Waterline Specifications. **RPDA provide and Note**
4. Anticipated fees associated with the proposed services based on the current rate schedule:

System Development Fee: 22 S.F. Units	= \$132,000.00
@ \$6,000 ea. (5/8x3/4 meter)	
5/8x3/4 Tap Fee 22 @ \$1,190.00	= \$ 26,180.00
<u>Surety Deposit 22 @ \$100.00</u>	= \$ 2,200.00
Total	= \$160,380.00

*Fees above assume that all services will be applied for at the same time.

Wastewater

1. A copy of the willingness to serve from KDHWWTTP is required. **Eddie to provide.**
2. Provide pump station and wastewater force main plans connecting the proposed pump station to the existing pump station in the Blue Jay Street Right-of-Way. **House Engineering working with KDHWWTTP to resolve (note added)**
3. A copy of the wastewater easement will need to be provided before a building permit can be issued. **Eddie to provide (note added)**
4. A Copy of the NCDEQ Wastewater Extension (Fast Track) permit will need to be provided prior to issuance of a building permit. **Note Added**
5. KDH Wastewater Encroachment Agreement will be required for any wastewater infrastructure constructed in Town right-of-ways. **Note Added**
6. The Town of the Kill Devil Hills Standard Wastewater Notes for work within the Town Rights-of-Ways shall be included on the plans for any work in the Town-Right-of-Way. Standard are provided in the following section: **Notes added C6**

Kill Devil Hills Wastewater Notes

All work associated with sewer extension construction in the Town right-of-ways shall be performed in accordance with the following permit conditions and the executed Town of Kill Devil Hills Right-of-Way Encroachment Agreement:

- Working Standards:
 - o Project Manager/Administrator - Project requires a designated contact person to coordinate and oversee proper project installation. This person will be the one that the Town contacts in regards to questions, concerns or directions. This person will be responsible for:
 - Conducting an on-site pre-construction meeting with KDH Public Services (KDHPS) and the Contractor prior to work commencing. At least a 2-day notice of such a meeting is needed by KDHPS.
 - Take pictures of project areas pre-existing conditions, provide copies to KDHPS no later than the pre-construction meeting.
 - Verify existing utility locations and depths on construction plans.
 - Notify and coordinate work around any effected wastewater customers of any planned outages.
 - Insure construction activities are kept to within approved project areas. This includes staging areas for pipes and equipment.
 - If any work is to be done in front of a property, mail letters to effected property owners notifying them that work will be occurring within the area adjacent to their properties. This letter should give owners 14 days prior to construction to remove

any personal items from the town right of way. The letter outlines the extent of the work to be performed, especially if driveway disruptions are planned, the owner needs to be aware of this. A copy of this letter will be submitted to the town for approval prior to being sent.

- Insure that all construction safety aspects of work within town rights-of-way are adhered to. This includes the use of proper construction signage within town rights-of-way, insuring that all construction personnel within the construction zone are equipped with the proper safety gear including safety vests and hard hats. Contractor equipment left overnight within the rights-of-way must have proper flagging/safety cones placed around it to notify drivers of the equipment.
- Road Closures - Any proposed road closures must be approved by KDHPS. Project Manager will be responsible for contacting Dare Central, KDH Police and Fire prior to road closures. Project Manager will then notify all agencies once the road has been reopened.
- Provide a licensed engineer to oversee the installation of all appurtenances installed within the town right-of-way. The engineer will verify that all infrastructure was installed per the plans. Engineer will sign off on this installation and submits to the State for final approvals. Any changes to the plans involving engineering work must be done by licensed NC engineer and approved by the town.
- The work within the town rights-of-way must be kept in an orderly and neat fashion. No material (soils, gravel or other project fill) can be placed directly on any street surface without matting being put down first. Any damage to any road surface from construction activities must be repaired at the owner's expense.
- Driveways - Any driveway removals must have a temporary surface put in the same day as removal. Approved surfaces are ABC or millings. No sand or other materials are approved.
- Driveway culverts - if any driveway culvert work is included in the project, culvert end elevations must be shown on plans prior to construction. Any culvert damage from construction activities must be repaired/replaced at the project owner's expense. Culverts in project area must have filter cloth installed at both ends prior to construction.
- Drainage infrastructure - All town drainage infrastructure within the project area will be returned to pre-existing conditions prior to final project approval.
- Seeding and Stabilization - seeding to be in place within 5 days of project final installations. Grass growth within 10 days. Special note - as it appears the project may be conducted during the hot/dry summer months, it will be of the utmost importance for the contractor to water the new seeding at least once a day, if not more, in order to get growth and stabilization. **Added notes on C6**

Town Engineer -Peter Burkheimer, PE (757-478-5970)

1. We support Public Services' comments 1, 2 and 3 under "Streets & Drainage," and offer the following additional: **Needs review (added concept)**
 - a. We believe the existing pipe under the Blue Jay Street right of way to be 15" RCP with an upstream {W} invert of about 6.16. This is from master drainage mapping and is not appropriately precise for design purposes, and thus should be field-verified. Actual invert is likely to be 0.10± higher or lower. Following discussion assumes 6.16 is correct. **Concept added (review)**
 - b. A structure should be set at the tie-in point to pick up surface drainage, to enable the transition to 15" HDPE smooth-wall pipe, and to facilitate any slight alignment change.

- c. Location of the existing 6" PVC WM along the S side of W Martin Street needs to be shown eastward to Blue Jay, so the alignment of the 15" HDPE storm drain may be established with acceptable horizontal separation. **added**
 - d. A slope of 0.10% should be set for the 15" HDPE, to enable reach to upstream areas and cover at structures. Tilted grate treatment may be necessary to get rim low enough to pick up roadside swale. **Concept added (review)**
 - e. Per PS comment 2, a DI will be needed at the intersection. Another may be needed east of the entrance, pending additional topo. **Topo added**
 - f. Design Engineer House, Public Services and Town Engineer should confer on whether this 15" HOPE is solid wall or "sock drain." Sock drain has desirable effects in helping manage groundwater, but can be problematic for WM maintenance where horizontal separation is minimal. **Concept added Water Table at 6.5' not enough cover for sock pipe.**
 - g. In general, the 300± storm drain extension needs sufficient design detail to be constructable, as opposed to being noted "as per KDH," or "as per KDH Engineer."
2. We consider it a necessary practice to make sure that the "top of bank" of stormwater management swales and basins have a proper relationship to the elevation of adjacent properties. It appears this may not be the case along the eastern boundary, For example, near the "lift station" site, a proposed 9 contour is shown about 1' inside the eastern boundary, with an existing ground grade of 7.58, 17" lower. **Basin cross section added on C7 at this point**
- a. Show more clearly, using Section A-A or a grading tie-line, or both, where and how the top of bank grade ties down to existing. We consider a 3:1 slope or gentler appropriate, unless some sort of wall treatment is used. **C7**
 - b. If/where the tie occurs outside the limits of the property, demonstrate concurrence from the adjoining owner and adjust the limits of disturbance. Or, adjust the basin/swale geometry to eliminate the encroachment. **added**
 - c. A flat area at least 1' wide should be provided between the bank slope of the basin and the tie slope down to the property line. **Revised**
 - d. It may be possible to mitigate these concerns by providing a slightly lower maximum rise elevation than 9.40, since the volume provided exceeds the volume require by a good ratio. **Lower top of storage to 9' msl for adjacent tie in grades**
3. Minor items:
- a. Make sure the BMP typical sections on Sheets C7 and CS2 match each other and reflect the comments in 2 above. The section on CS2 has an incorrect top of storage elevation shown. **revised**
 - b. "VEGETATION" is misspelled in several places. **Oops, revised**
 - c. It is noted that some additional storage will occur in the stone base. We agree, where #57 stone is used. But not all references to the stone base call for #57; some mention gravel or ABC. Also, the mention of this additional storage should use the unit "CF," not "CY." **Fixed and revised all stone # 57 details**
 - d. KDH's driveway standard is 6" thick for the 3' adjacent to the existing road; add a 3' dimension to the entrance detail on C6. Perhaps it would be more appropriate to increase the thickness of the entire entrance to 6" or 7", side the on-site concrete drive is 6" reinforced concrete. **Revised all sheets.**
 - e. Also, we don't want "public stormwater" to drain into your onsite CB's (nor your site stormwater to drain into out RW). See PS' comment 5 under "Streets & Drainage."

Fire Marshal - John Riso/di (252-449-5227)

1. Water test shall be done to determine water flow for fire suppression. **Note added**
2. Once the new Hydrant is installed this will need to be tested to see how much water is available from this dead end hydrant. **Note added**
3. The fire department uses NST (National Standard Thread) **Note added on Detail Sheet C6**

Please provide a written response to the preceding comments. Should you have any questions, please contact me at (252) 449-5315 or rlang@kdhnc.com. **Please submit 15 copies of the revised plans as**

AN ORDINANCE AMENDING THE KILL DEVIL HILLS TOWN CODE,
CHAPTER 153, ZONING

BE IT HEREBY ORDAINED BY THE Kill Devil Hills Board of Commissioners that Chapter 153, Zoning, of the Kill Devil Hills Town Code, shall be amended by adding the underlined language and deleting the following ~~stricken~~ language to the sections identified below, as follows:

§153.002 DEFINITIONS.

LONG-TERM OCCUPANCY. A residential dwelling that is occupied and used for residency and housekeeping purposes for a period of 31 days or more and has a use agreement recorded with the Register of Deeds that requires 31 or more consecutive days' minimum occupancy by single tenant(s) in perpetuity.

SHORT-TERM VACATION OCCUPANCY. A residential dwelling that is used and/or advertised through online media or any other means of advertising for occupancy by guest(s) for a period of 30 consecutive days or less.

§153.117 SPECIAL USES.

(C) Cluster Homes (see §153.311 for additional regulations).

- (1) Occupancy of dwellings. Any dwelling constructed as part of §153.117(C) shall be occupied on a long-term basis as defined in §153.002.

- (2) Property owners shall be required to execute and record a long-term use agreement prior to issuance of a building permit declaring that the dwelling unit shall be used only for long-term occupancy. This agreement shall be recorded with the Register of Deeds and shall transfer with the property in perpetuity.

§153.120 SITE REQUIREMENTS.

- (C) *Density.* ~~Multi-family: Six units per acre.~~ Cluster Homes: Twelve units per acre.

§153.311 CLUSTER HOMES.

Cluster homes. In addition to the below specific standards, shall also abide by the regulations associated with the zoning district where the development is located.

- (A) *Lot dimensions.* All parcels shall have a minimum width of 75 feet in the Ocean Impact Residential and Commercial Zone. All parcels shall have a minimum width of 100 feet in the Low Density Residential Zone.

- (B) *Lot area.* The minimum building site shall be 20,000 square feet in the Ocean Impact Residential and Commercial Zone. The minimum building site shall be a minimum of 1 acre in the Low Density Residential Zone.

- (C) *Size and arrangement.* In the Ocean Impact Residential and Commercial Zone, Each detached single-family dwelling unit shall be designed and arranged for occupancy by one family operating as a housekeeping unit and shall contain at least 500 square feet, but no more than 2,500 square feet of gross floor area. One structure may be up to 5,000 square feet if it is combined with on-site management or another complementary accessory or principal use. Each detached single-family dwelling unit shall be an independent dwelling unit. In the Low Density

Residential Zone, each detached single-family dwelling unit shall be designed and arranged for long-term occupancy and shall contain at least 500 square feet but no more than 1,500 square feet of gross floor area. Each detached single-family dwelling unit shall be an independent dwelling unit.

(D) *Building separation.* Within a cluster home development, detached single-family dwelling units shall be separated from one another by a minimum of ten feet.

(E) *Driveway access.* Each detached single-family dwelling unit shall have access to a shared driveway. The shared driveway must be designed to a minimum width of 20 feet to allow fire-fighting apparatus to locate within 150 feet of all sides of all structures on the property. The shared driveway may be reduced to a minimum width of 12 feet where it is closer than 150 feet to all sides of all structures on the property. A shared driveway of less than 20 feet may be reviewed and approved by the Fire Marshal in conjunction with an approved alternative life safety plan or an approved fire suppression system. The shared driveway material shall support the weight of fire apparatus as determined by the Fire Marshal.

This amendment to Chapter 153, Zoning, shall be in full force and effect from and after the 11th day of July, 2022. Adopted and approved by the Board of Commissioners of the Town of Kill Devil Hills at a regular meeting held on the 11th day of July, 2022, by a vote of 5 in favor and 0 opposed.

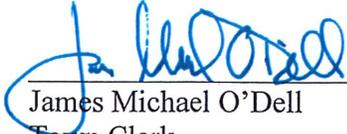
SEAL



Ben Sproul
Mayor

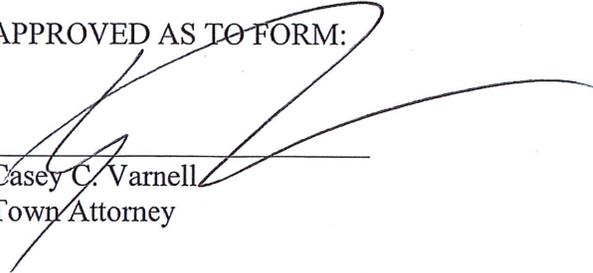
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ATTEST:



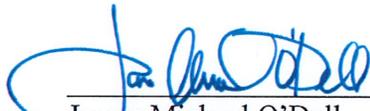
James Michael O'Dell
Town Clerk

APPROVED AS TO FORM:

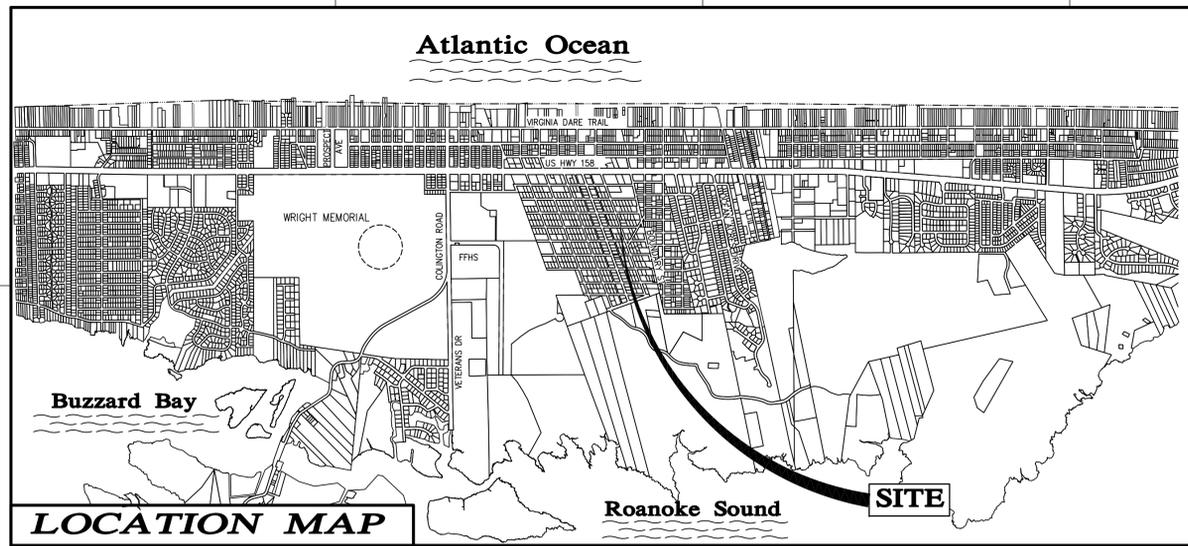


Casey C. Varnell
Town Attorney

The undersigned hereby certifies that the foregoing official amendment, designated AN ORDINANCE AMENDING CHAPTER 153, ZONING, was placed in the Kill Devil Hills Town Code Book on the 12th day of July, 2022 at 9:00 a..m.

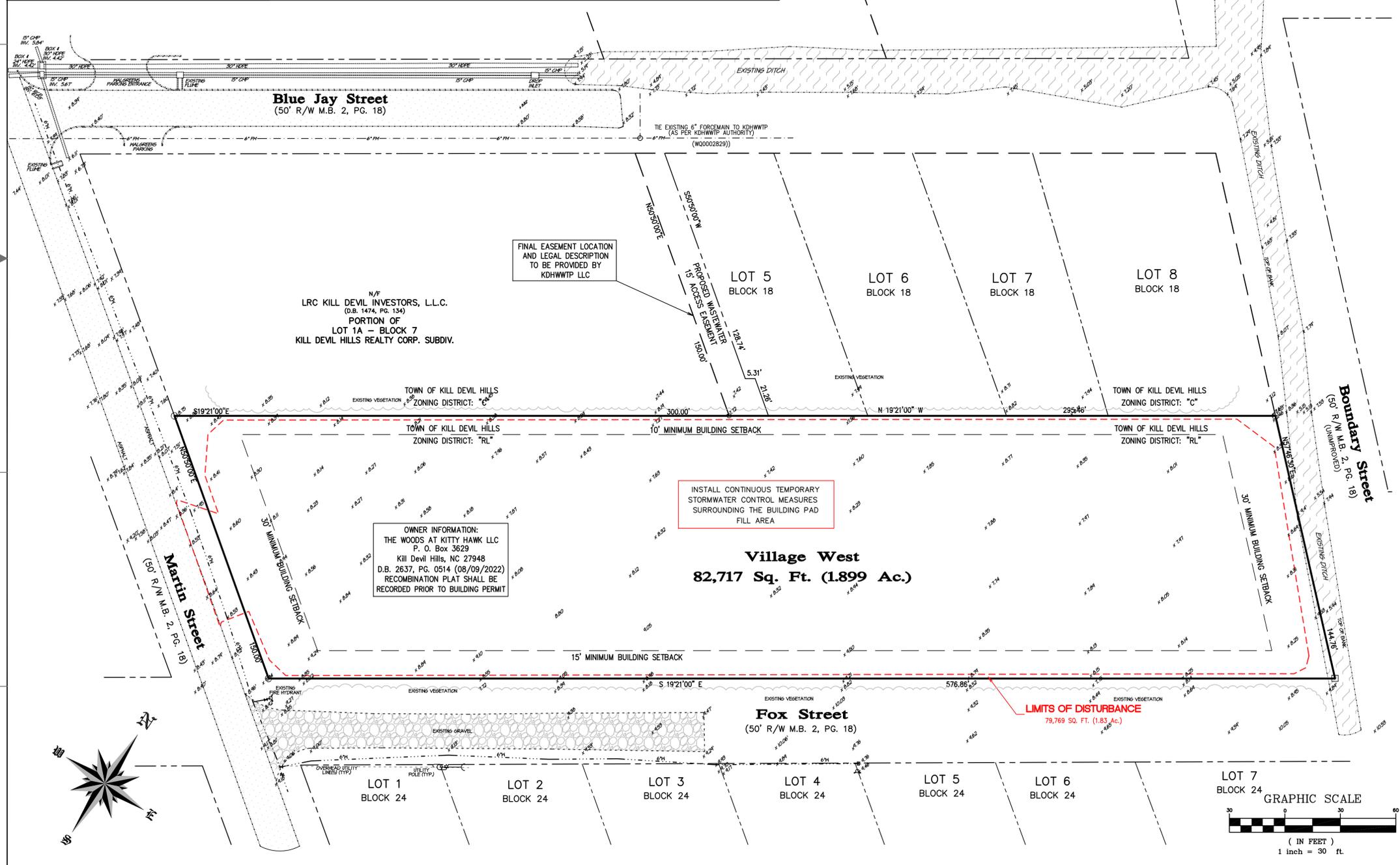
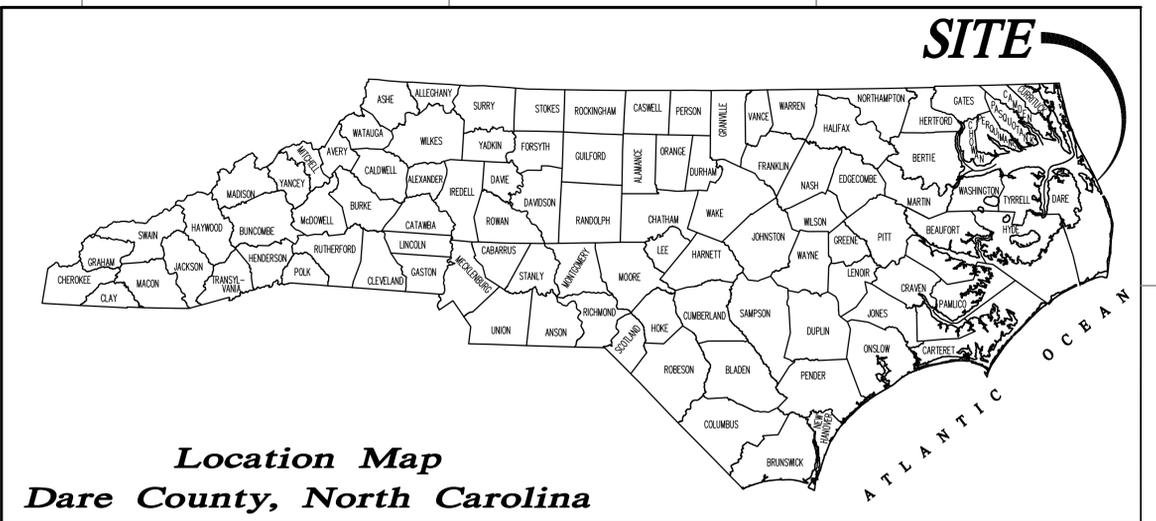


James Michael O'Dell
Town Clerk



General Notes

- SUBJECT PROPERTY: Lots: 9-15, Block 18, Kill Devil Hills Realty Corp Kill Devil Hills, NC 27948
- STREET ADDRESS: 207 Martin Street Kill Devil Hills, NC 27948
- PARCEL ID NUMBER: 004388000
- GLOBAL PIN: 988312868497
- RECORDED REFERENCE: OWNER: THE WOODS AT KITTY HAWK LLC, P.O. Box 3629, KDH, 27948 DB. 2637 PG. 0514, (08/09/2022)
- ZONING: LOW DENSITY RESIDENTIAL (RL), SPECIAL USE: CLUSTER HOME FOR LONG TERM OCCUPANCY ALL BUILDINGS SHALL BE LONG OCCUPANCY PER 153.002. DEFINITION: A RESIDENTIAL DWELLING THAT IS OCCUPIED AND USED FOR RESIDENCY AND HOUSEKEEPING PURPOSES FOR A PERIOD OF 31 DAYS OR MORE AND HAS A USE AGREEMENT RECORDED WITH THE REGISTER OF DEEDS THAT REQUIRES 21 OR MORE CONSECUTIVE DAY MINIMUM OCCUPANCY BY SINGLE TENANT(S) IN PERPETUITY.
- TOTAL PARCEL AREA: 82,717 S.F. (1.90 AC.)
- PROPOSED DEVELOPMENT: (10) 3 BEDROOM RESIDENTIAL COTTAGE DWELLINGS (11) 2 BEDROOM RESIDENTIAL COTTAGE DWELLINGS (Single-Family) WOOD FRAME STRUCTURE ON PILINGS WITH CONCRETE PARKING AREA UNDERNEATH 1.90 (Ac.) / 12 (UNITS/ACRE) = 22 MAX. UNITS (21) PROPOSED

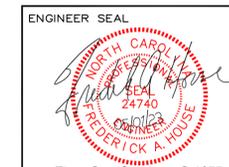


Sheet Index

- C1 Cover Sheet / Index Sheet
- C2 Site and Utility Plan
- C3 Grading and Drainage Plan
- C4 Landscape Plan
- C5 Lighting Plan
- C6 Site and Utility Detail Plan
- C7 Grading and Drainage Detail Plan
- C8 Landscape and Lighting Detail Plan
- SC1 Soil Erosion and Sedimentation Control Plan
- SC2 Soil Erosion and Sedimentation Control Detail Plan

INCIDENTAL DRAINAGE

1. TEMPORARY DRAINAGE DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER/DEVELOPER/CONTRACTOR TO RELIEVE AREAS THAT MAY CAUSE DAMAGE TO ROADWAYS AND/OR ADJACENT PROPERTIES AS DIRECTED BY PLANNING/CIVIL INSPECTIONS.
2. THE PLANNING/CIVIL INSPECTOR WILL PERFORM AN ON-SITE INSPECTION OF STORM SEWER PIPE INSTALLATION PRIOR TO ANY BACKFILLING OF THE INSTALLED PIPE.
3. IF PRECAST DRAINAGE STRUCTURES ARE USED, SHOP DRAWINGS WILL BE SUBMITTED TO THE DESIGN ENGINEER BY THE OWNER/DEVELOPER/CONTRACTORS DESIGN CONSULTANT, ALONG WITH THE PROPER CERTIFICATIONS, UNLESS PREVIOUSLY APPROVED BY THE TOWN OF KILL DEVIL HILL PLANNER.
4. ALL STORM SEWER PIPE JOINTS WILL BE INSTALLED, SILT FREE, OR WILL BE COMPLETELY WRAPPED WITH TWO FEET (2') WIDE APPROVED FILTER FABRIC, SECURED IN PLACE PRIOR TO BACKFILLING.



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 Kitty Hawk, North Carolina 27949
 Office# (252) 261-8253 E-Mail: info@houseengineering.net

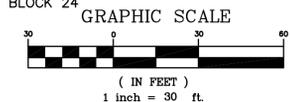
APPROVALS		DATE
Drawn:	D. NEFF	05/01/23
Checked:	R. HOUSE	05/01/23
Engineer:	R. HOUSE	05/01/23

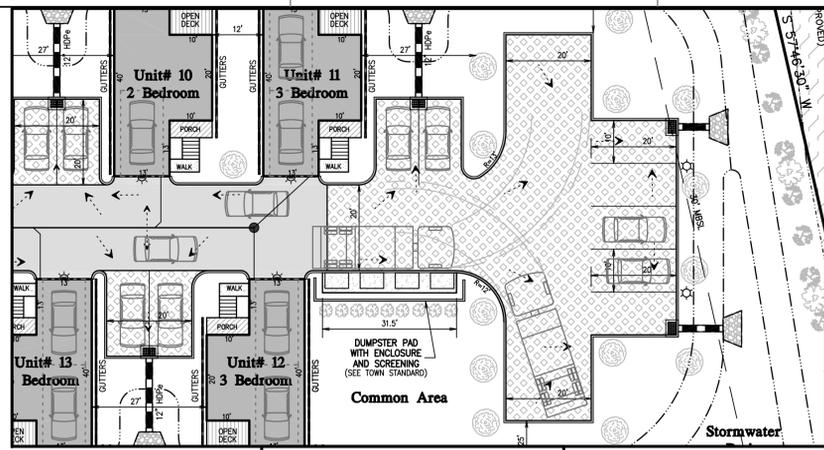
REVISIONS		
No.	Date	Description

Cover and Index Sheet
 For:
Village West
 Location:
207 West Martin Street
 Parcel in Kill Devil Hills
 Kill Devil Hills Dare County North Carolina

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	C1 OF 8

CAD FILENAME: 226733 SCALE: 1" = 30'-0"





TRUCK TURNING RADIUS
SCALE: 1"=20'

FINAL EASEMENT LOCATION AND LEGAL DESCRIPTION TO BE PROVIDED BY KDHWWTP LLC

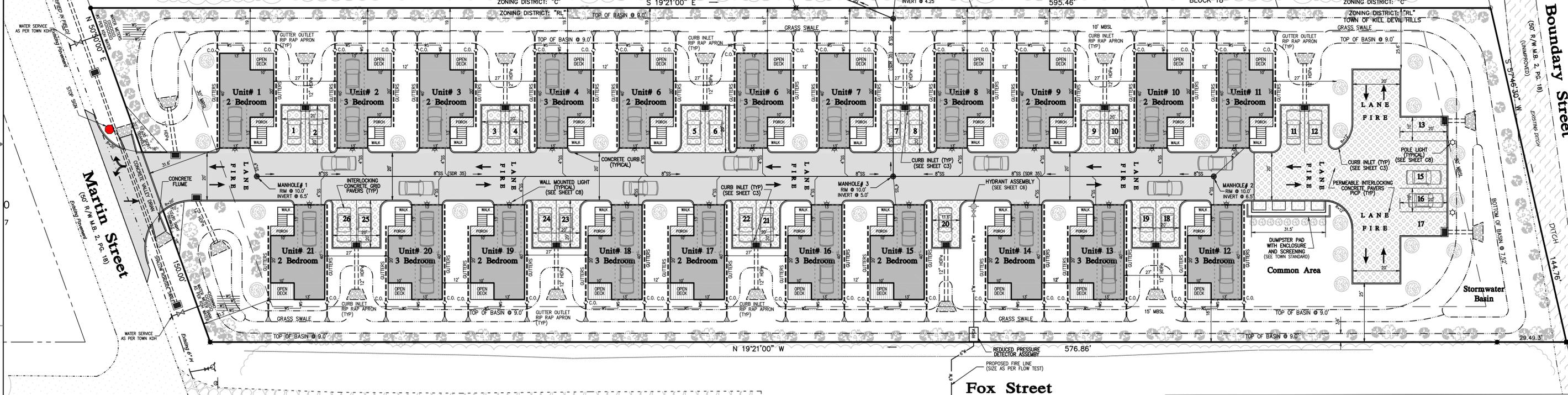
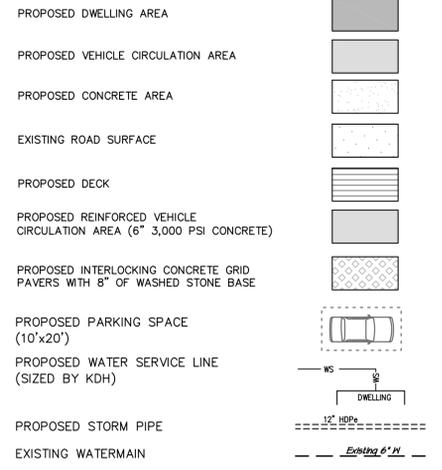
ALL WORK ASSOCIATED WITH SEWER EXTENSION CONSTRUCTION IN THE TOWN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING PERMIT CONDITIONS AND THE EXECUTED TOWN OF KILL DEVIL HILLS RIGHT-OF-WAY ENCROACHMENT AGREEMENT SEE SHEET C6 OF 8 FOR WORKING STANDARDS

N/F
LRC KILL DEVIL INVESTORS, L.L.C.
(D.B. 1474, PG. 134)
PORTION OF
LOT 1A - BLOCK 7
KILL DEVIL HILLS REALTY CORP. SUBDIV.
(P.C. E. SL. 738)
LINE "A-B" = L1
LINE "B-C" = L2
(P.C. E. SL. 738)

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- PARKING DATA: 10 (3) BEDROOM UNITS @ 1 SPACE PER BEDROOM = 30 SPACES 11 (2) BEDROOM UNITS @ 1 SPACE PER BEDROOM = 22 SPACES TOTAL SPACES REQUIRED = 52 SPACES (26 Outside Dwelling) TOTAL SPACES PROVIDED = 57 SPACES
- MAX. BUILDING HEIGHT: 42 OVERALL (35' TO TOP PLATE)
- ELEVATION REFERENCED: NAVD 88 FLOOD ZONE "X", RPPE 8' (TOP OF SLAB @ 9.8 - 10.2')
- Long-Term use agreement shall be recorded with Dare County Register of Deeds prior to issuance of a building permit.
- BOUNDARY AND INFORMATION TAKEN FROM "Seaboard Surveying & Planning, Inc."

Legend

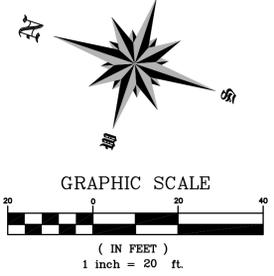


BEFORE YOU DIG!



NOTE:
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Fox Street
(50' R/W M.B. 2, PG. 18)

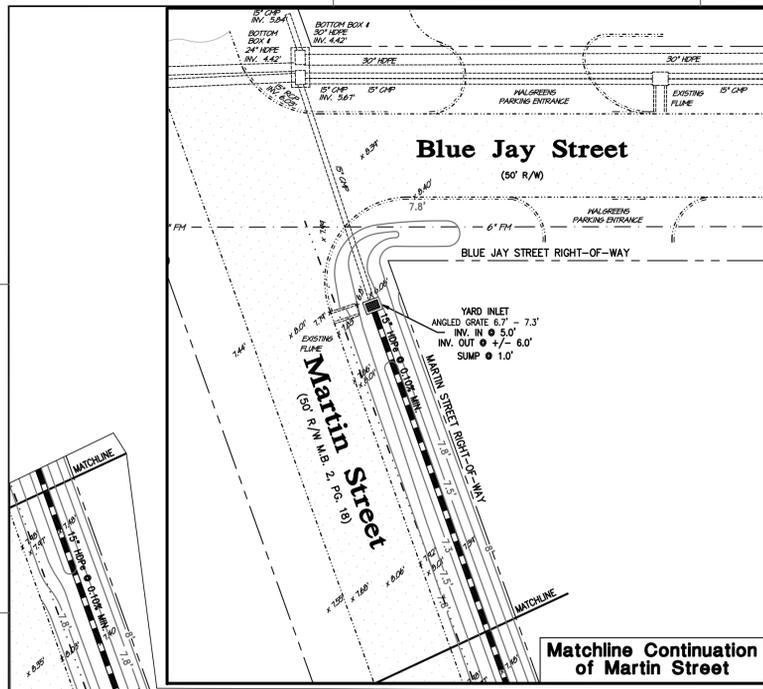


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Firm Certification# C-1955		
APPROVALS	DATE	
Drawn: D. NEFF	05/01/23	
Checked: R. HOUSE	05/01/23	
Engineer: R. HOUSE	05/01/23	
REVISIONS		
No.	Date	Description

Site and Utility Plan
For: **Village West**
Location: **207 West Martin Street**
Parcel in Kill Devil Hills

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	C2 OF 8
CAD FILENAME: 226733		SCALE: 1" = 20'-0"	



Stormwater Narrative

STORMWATER MANAGEMENT NARRATIVE
 THE STORMWATER MANAGEMENT PLAN SHOWN HEREON HAS BEEN PREPARED TO ADDRESS STORMWATER MANAGEMENT ON THE SUBJECT PROPERTY.
 THE STORMWATER RUNOFF WILL BE MANAGED THROUGH PROPOSED ON SITE SHALLOW INFILTRATION SWALES AND OPEN LAWN AREAS.
 THE CALCULATIONS WILL SHOW THAT THE HIGHLY PERVIOUS SOILS, COUPLED WITH THE SHALLOW INFILTRATION SWALES ARE ADEQUATE TO RETAIN AND INFILTRATE THE STORMWATER GENERATED FROM THE DESIGN RAINFALL EVENT.
 PROJECT DESIGNS SHALL UTILIZE LOW-IMPACT DEVELOPMENT PRINCIPLES AND BEST MANAGEMENT PRACTICES AS THE PRIMARY METHOD FOR THE TREATMENT OF STORMWATER.
DESIGN STORM EVENT:
 4.3 INCHES OF RAINFALL OVER A STORM EVENT
TOTAL RUNOFF TO BE MANAGED FROM DESIGN STORM:
 IMPERVIOUS SURFACES:
 TOTAL IMPERVIOUS BUILT UPON PROJECT COVERAGE = 37,140 SQ. FT.
RATIONAL RUNOFF COEFFICIENT = C
 CONCRETE COEFFICIENT = 0.95
 ROOF INCLINED COEFFICIENT = 1.0
 UNIMPROVED AREA COEFFICIENT = 0.35
 USE C = 1.00 AS COMPOSITE RUNOFF FACTOR
TOTAL RUNOFF:
 PROJECT SITE: 37,140 SQ. FT. X 4.3/12 X 1.00 = 13,308 CU. FT.
EXISTING SOIL DATA:
 SOURCE: USDA, NATURAL RESOURCES CONSERVATION SERVICE, SOIL SURVEY
 SOIL TYPE: COROLLA - FINE SAND SINGLE GRAIN 2 TO 30 PERCENT SLOPES
 DRAINAGE CLASS: MODERATELY WELL
 SEASONAL HIGH WATER TABLE ELEVATION = BELOW 6.52' +/- MSL (As Per Protocol Sampling)
CALCULATE HOLDING CAPACITY FOR INFILTRATION BASINS:
 ASSUME SOIL INFILTRATION RATE = GREATER THAN 20 INCHES PER HOUR
 SOIL VOID RATIO = 20%
 ALL SIDE SLOPES 3:1 OR FLATTER

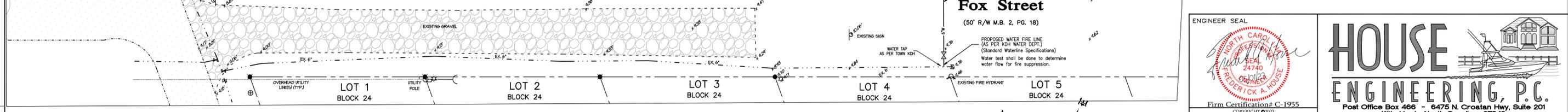
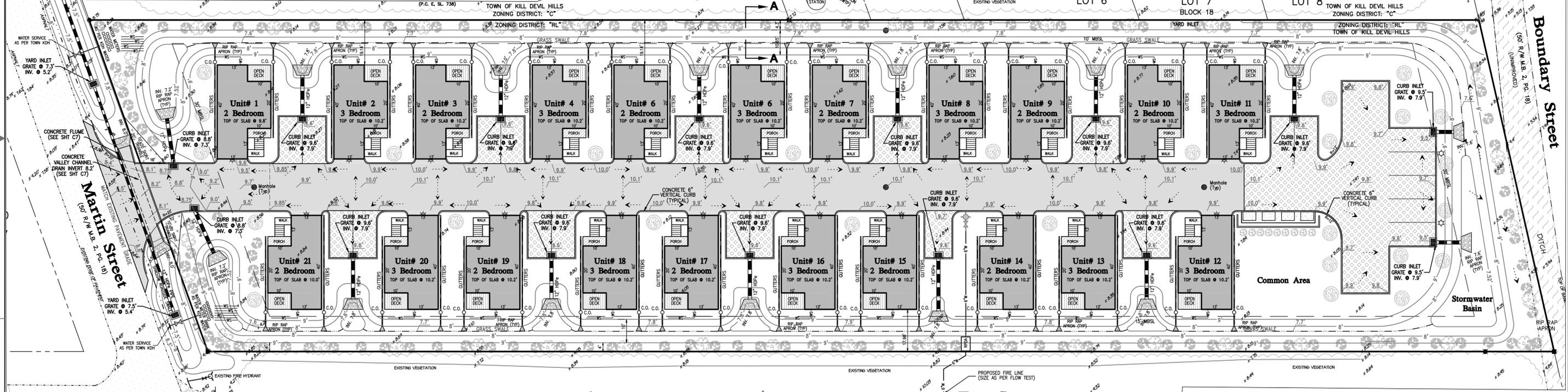
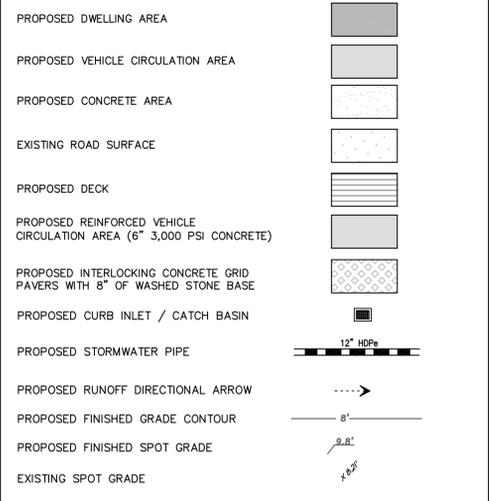
Stormwater Storage Calculations

STORMWATER MANAGEMENT BASIN "A"
BASIN DATA
 TOP ELEVATION = 9.0'
 TOP AREA = 18,143 SQ. FT.
 BOTTOM ELEVATION = 7.52'
 BOTTOM AREA = 14,446 SQ. FT.
CALCULATE OPEN VOLUME IN BASIN
 $V_1 = \text{OPEN VOLUME} = \frac{(\text{TOP AREA} + \text{BOTTOM AREA}) \times \text{DEPTH OF BASIN}}{2}$
 $V_1 = \text{OPEN VOLUME} = \frac{18,143 + 14,446}{2} \times 1.48 = 14,496 \text{ CU. FT.}$
 $V_1 = \text{OPEN VOLUME} = 14,496 \text{ CU. FT.}$
ADDITIONAL STORAGE IN GRAVEL BASE
 GRAVEL BASE 7,985 SQ. FT. X .67 (8" STONE) X 40% VOIDS = 3,210 CU. FT.
TOTAL STORAGE IN BASIN AND UNDERLYING SOILS
 TOTAL STORAGE PROVIDED = 14,496 CU. FT. + 3,210 CU. FT. = 17,706 CU. FT.
 TOTAL STORAGE REQUIRED = 13,308 CU. FT.
CALCULATION SUMMARY:
 ADDITIONAL STORMWATER STORAGE IS AVAILABLE IN DRY GRASS INFILTRATION SWALES. A DESIGN VOLUME REDUCTION FOR DRY GRASS SWALE WITH LESS THAN 1.5% SLOPE THIS STORAGE IS NOT INCLUDED IN THE ABOVE CALCULATIONS AND WILL RESULT IN ADDITIONAL STORMWATER MANAGEMENT BUFFERING.
 SWALES REMOVE POLLUTANTS FROM STORMWATER BY BIOFILTRATION, SETTLING, AND INFILTRATION. GRASSSED SWALES FILTER POLLUTANTS AS STORMWATER RUNOFF MOVES THROUGH THE GRASS. BY REDUCING FLOW VELOCITIES AND INCREASING A SITE'S TIME OF CONCENTRATION, GRASSSED SWALES CONTRIBUTE TO REDUCING RUNOFF PEAKS. GRASSSED SWALES THAT ARE DESIGNED WITH INCORPORATE DEPRESSION STORAGE PROMOTE INFILTRATION AND CAN HELP CONTRIBUTE TO SATISFYING A SITE RUNOFF CAPTURE/STORAGE REQUIREMENT.

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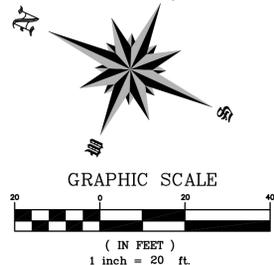


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STATE STORMWATER PERMIT SHALL BE REQUIRED PRIOR TO PERMITTING.



Firm Certification# C-1955
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APPROVALS	DATE
Drawn: D. NEFF	05/01/23
Checked: R. HOUSE	05/01/23
Engineer: R. HOUSE	05/01/23

REVISIONS		
No.	Date	Description

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 Kitty Hawk North Carolina 27948
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SIZE	PROJECT NUMBER	REV	SHEET NO.
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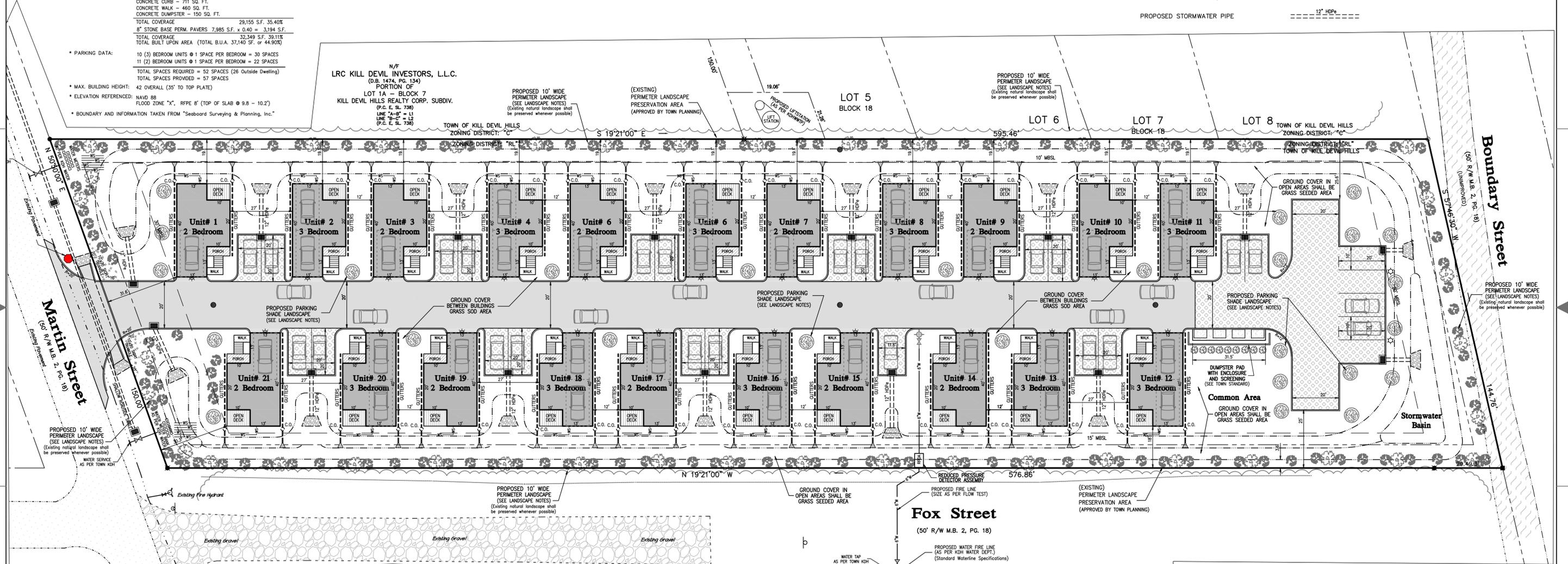
PERIMETER LANDSCAPE DATA

- EAST PROPERTY LINE = 600'
- 600/30 = 20 TREES REQUIRED EXISTING VEGETATION
 - 600/10 = 60 SHRUBS REQUIRED EXISTING VEGETATION
- MARTIN STREET RIGHT-OF-WAY = 150 LF.
- 150/10 = 15 TREES REQUIRED 15 TREES PROVIDED
 - 150/10 = 15 SHRUBS REQUIRED 15 SHRUBS PROVIDED
- FOX STREET RIGHT-OF-WAY = 577 LF.
- 577/10 = 58 TREES REQUIRED EXISTING VEGETATION
 - 577/10 = 58 SHRUBS REQUIRED EXISTING VEGETATION
- BOUNDARY STREET RIGHT-OF-WAY = 145 LF.
- 145/10 = 15 TREES REQUIRED 15 TREES PROVIDED
 - 145/10 = 15 SHRUBS REQUIRED 15 SHRUBS PROVIDED

Legend

- PROPOSED DWELLING AREA
- PROPOSED VEHICLE CIRCULATION AREA
- PROPOSED CONCRETE AREA
- EXISTING ROAD SURFACE
- PROPOSED DECK
- PROPOSED REINFORCED VEHICLE CIRCULATION AREA (6" 3,000 PSI CONCRETE)
- PROPOSED INTERLOCKING CONCRETE GRID PAVERS WITH 8" OF WASHED STONE BASE
- PROPOSED CURB INLET / CATCH BASIN
- PROPOSED STORMWATER PIPE

N/F
LRC KILL DEVIL INVESTORS, L.L.C.
(D.B. 1474, PG. 134)
PORTION OF
LOT 1A - BLOCK 7
KILL DEVIL HILLS REALTY CORP. SUBDIV.
(P.C.E.S. 738)
LINE "A-B" = L1
LINE "B-C" = L2
LINE "C-D" = L3
(P.C.E.S. 738)



Fox Street

(50' R/W M.B. 2, PG. 18)

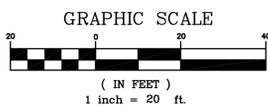
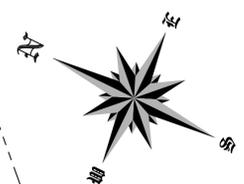
REDUCED PRESSURE DETECTOR ASSEMBLY
PROPOSED FIRE LINE (SIZE AS PER FLOW TEST)
PROPOSED WATER FIRE LINE (AS PER KDH WATER DEPT.) (Standard Waterline Specifications)
Water test shall be done to determine water flow for fire suppression.

LANDSCAPE INVENTORY

Existing Vegetation: ON SITE INSPECTION SHALL BE REQUIRED TO ENSURE VEGETATION IS ON SITE PARCEL AND MINIMUM PLANTING REQUIREMENTS ARE MET.
Canopy Shade Cover: The percentage of ground covered by a vertical projection of the outermost perimeter of the natural spread of foliage of plants. Small openings within the canopy are included

LANDSCAPE LEGEND:

COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	MINIMUM SIZE @ PLANTING	QUANTITY	SYMBOL
BALD CYPRESS		50' - 100'	20' - 30'	2" Cal. - 8' Ht.	32	
CRAPE MYRTLE		15' - 30'	6' - 15'	1.5" Cal. - 6' Ht.	51	
GLOSSY ABELLA		3' - 5'	3' - 6'	3 Gallon	29	
DWARF YAUPON HOLLY		3' - 5'	3' - 6'	3 Gallon	8	



BEFORE YOU DIG!

North Carolina 811
WWW.nc811.ORG

NOTE:
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HOUSE ENGINEERING, P.C.
Post Office Box 466 - 6475 N. Croatan Hwy, Suite 201
Kitty Hawk North Carolina 27949
Office# (252) 261-8253 E-Mail: info@houseengineering.net

Landscape Plan
For: **Village West**
Location: **207 West Martin Street**
Parcel in Kill Devil Hills
Kill Devil Hills Dare County North Carolina

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	C4 OF 8

CAD FILENAME: 226733 SCALE: 1" = 20'-0"

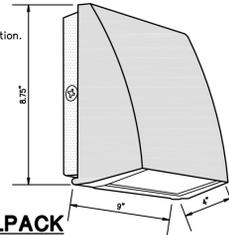
APPROVALS

APPROVALS	DATE
Drawn: D. NEFF	05/01/23
Checked: R. HOUSE	05/01/23
Engineer: R. HOUSE	05/01/23

REVISIONS

No.	Date	Description

- Mounting: Die-cast back box with four (4) conduit entry points and knockout pattern for junction box or direct wall mounting. Hinged housing and bubble level for easy installation.
- Full Cutoff: Full cutoff meets dark-sky requirements
- Recommended Mounting Height: Up to 20 ft
- RAB 12, Watt SLIM Wallpacks are designed to cover the footprint of most traditional wallpacks. They are suitable for mounting heights from 15' to 30'. These ultra-high efficiency fixtures are full cutoff



RAB SLIM POLE AND WALLPACK (MODEL# SLIM12N)
NOT TO SCALE

General Notes

- SUBJECT PROPERTY: Lots: 9-15, Block 18, Kill Devil Hills Realty Corp Kill Devil Hills, NC 27948
- STREET ADDRESS: 207 Martin Street Kill Devil Hills, NC 27948
- PARCEL ID NUMBER: 004388000
- GLOBAL PIN: 988312868497
- RECORDED REFERENCE: OWNER: THE WOODS AT KITTY HAWK LLC, P.O. Box 3629, KDH, 27948 DB: 2637 PG. 0514, (08/09/2022)
- ZONING: LOW DENSITY RESIDENTIAL (RL), SPECIAL USE: CLUSTER HOME FOR LONG TERM OCCUPANCY ALL BUILDINGS SHALL BE LONG OCCUPANCY PER 153.002. DEFINITION: A RESIDENTIAL DWELLING THAT IS OCCUPIED AND USED FOR RESIDENCY AND HOUSEKEEPING PURPOSES FOR A PERIOD OF 31 DAYS OR MORE AND HAS A AGREEMENT RECORDED WITH THE REGISTER OF DEEDS THAT REQUIRES 21 OR MORE CONSECUTIVE DAY MINIMUM OCCUPANCY BY SINGLE TENANT(S) IN PERPETUITY.
- TOTAL PARCEL AREA: 82,717 S.F. (1.90 AC.)
- PROPOSED DEVELOPMENT: (10) 3 BEDROOM RESIDENTIAL COTTAGE DWELLINGS (11) 2 BEDROOM RESIDENTIAL COTTAGE DWELLINGS (Single-Family) WOOD FRAME STRUCTURE ON PILINGS WITH CONCRETE PARKING AREA UNDERNEATH 1.90 (Ac.) / 12 (UNITS/ACRE) = 22 MAX. UNITS (21) PROPOSED

LIGHTING LEGEND

- PROPOSED POLE LIGHT RAB LIGHTING (MODEL: ALEDDC52) RAB STEEL POLE (MODEL: PS4-07-2502) (OR APPROVED EQUAL) MOUNTING HEIGHT @ 21' (SEE DETAIL SHT C8)
- PROPOSED WALL PACK LIGHT RAB LIGHTING (MODEL# SLIM12N) (OR APPROVED EQUAL) MOUNTING HEIGHT @ 12' (SEE DETAIL SHT C8)
- PHOTOMETRIC ILLUMINATION SPOT NUMBER
- PHOTOMETRIC ILLUMINATION CONTOURS APPROVED BY TOWN OF KILL DEVIL HILLS
- PHOTOMETRIC ILLUMINATION MAXIMUM 3.6 (FC) PHOTOMETRIC ILLUMINATION MINIMUM 0.1 (FC) PHOTOMETRIC ILLUMINATION AVERAGE 1.8 (FC)

LIGHTING NOTES

* ALL LIGHT PRODUCED ON SITE SHALL BE CONTAINED WITHIN THE PERIMETER OF THE SITE BY DESIGN, ORIENTATION OR SHIELDING OF THE LIGHT SOURCE

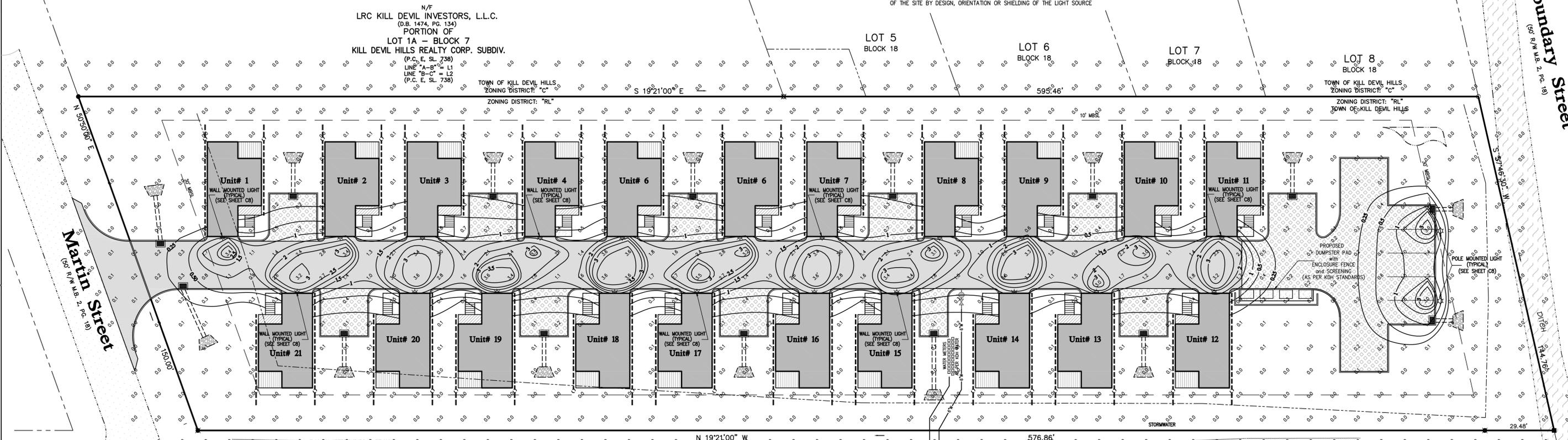
Legend

- PROPOSED DWELLING AREA
- PROPOSED VEHICLE CIRCULATION AREA
- PROPOSED CONCRETE AREA
- EXISTING ROAD SURFACE
- PROPOSED DECK
- PROPOSED REINFORCED VEHICLE CIRCULATION AREA (6" 3,000 PSI CONCRETE)
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N/F
LRC KILL DEVIL INVESTORS, L.L.C.
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PORTION OF
LOT 1A - BLOCK 7
KILL DEVIL HILLS REALTY CORP. SUBDIV.
(P.C. E. SL. 738)
LINE "A-B" = L1
LINE "B-C" = L2
(P.C. E. SL. 738)

TOWN OF KILL DEVIL HILLS
ZONING DISTRICT: "C"
S 19°21'00" E

TOWN OF KILL DEVIL HILLS
ZONING DISTRICT: "RL"
S 59°45'46" W

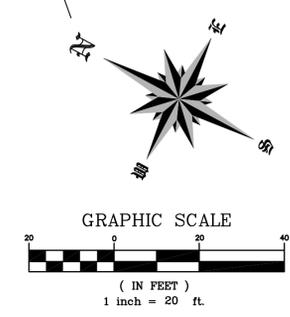


Fox Street
(50' R/W M.B. 2, PG. 18)

BEFORE YOU DIG!



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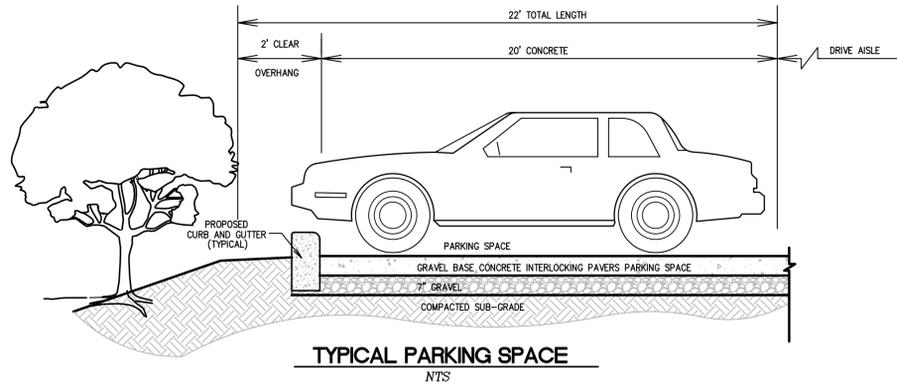
APPROVALS		DATE
Drawn:	D. NEFF	05/01/23
Checked:	R. HOUSE	05/01/23
Engineer:	R. HOUSE	05/01/23
REVISIONS		
No.	Date	Description

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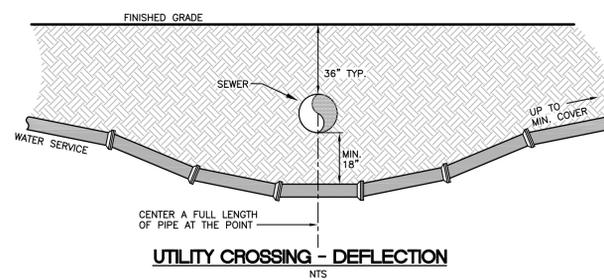
Lighting Plan
For:
Village West
Location:
207 West Martin Street
Parcel in Kill Devil Hills North Carolina

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	C5 OF 8

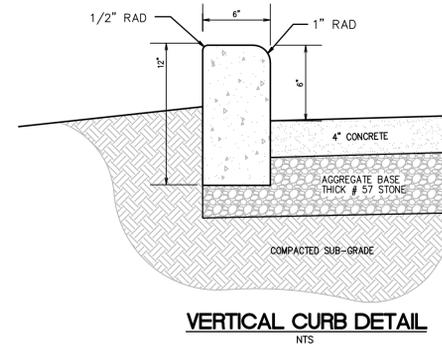
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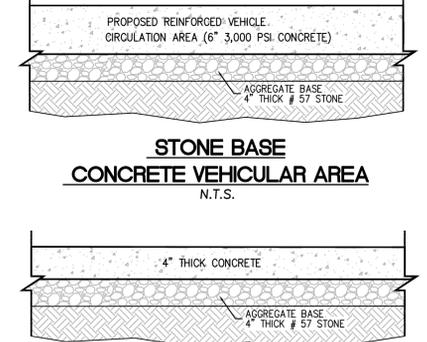
TYPICAL PARKING SPACE
N.T.S.



UTILITY CROSSING - DEFLECTION
N.T.S.

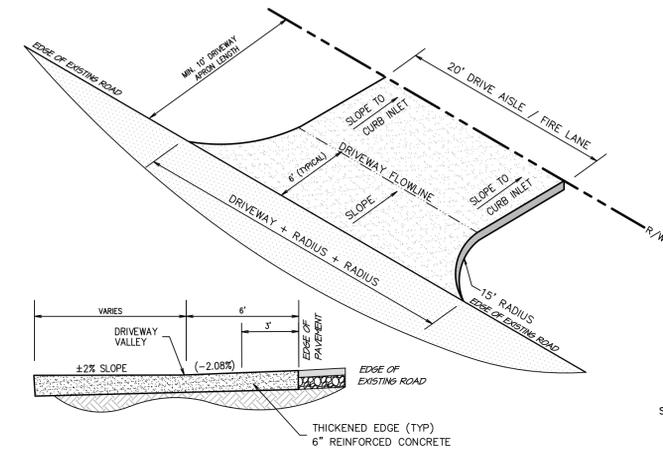


VERTICAL CURB DETAIL
N.T.S.



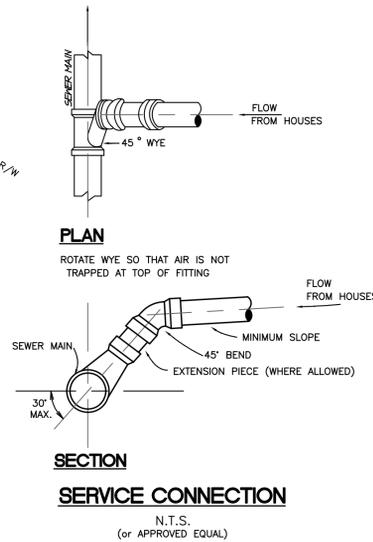
STONE BASE CONCRETE VEHICULAR AREA
N.T.S.

STONE BASE CONCRETE PARKING AREA
N.T.S.



TYPICAL DRIVE AISLE ENTRANCE DETAIL
N.T.S.

1. ALL DRIVEWAYS MUST MEET THE CURRENT TOWN DRIVEWAY REQUIREMENTS AND NOT REQUIREMENTS FOR SPACING AND SIGHT DISTANCES AND OFFSET FROM PROPERTY LINES AND INTERSECTIONS.
2. DRIVEWAY APRONS SHALL BE CONSTRUCTED OF A MINIMUM 6\"/>

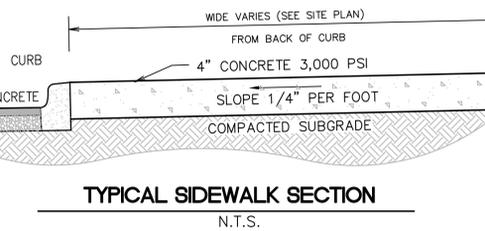


SECTION SERVICE CONNECTION
N.T.S.
(OR APPROVED EQUAL)

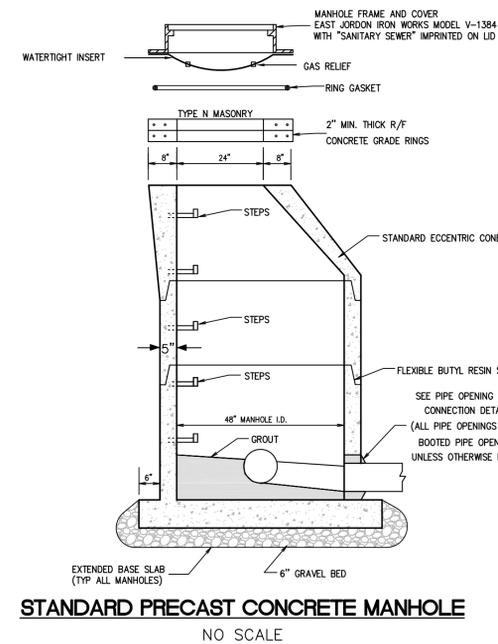
All work associated with sewer extension construction in the Town right-of-ways shall be performed in accordance with the following permit conditions and the executed Town of Kill Devil Hills Right-of-Way Encroachment Agreement:

- Working Standards:
 - Project Manager/Administrator - Project requires a designated contact person to coordinate and oversee proper project installation. This person will be the one that the Town contacts in regards to questions, concerns or directions. This person will be responsible for:
 - Conducting an on-site pre-construction meeting with KDHP Public Services (KDHP) and the Contractor prior to work commencing. At least a 2-day notice of such a meeting is needed by KDHP.
 - Take pictures of project areas pre-existing conditions, provide copies to KDHP no later than the pre-construction meeting.
 - Verify existing utility locations and depths on construction plans.
 - Notify and coordinate work around any affected wastewater customers of any planned outages.
 - Ensure construction activities are kept to within approved project areas. This includes staging areas for pipes and equipment.
 - If any work is to be done in front of a property, mail letters to affected property owners notifying them that work will be occurring within the area adjacent to their properties. This letter should give owners 14 days prior to construction to remove any personal items from the town right-of-way. The letter outlines the extent of the work to be performed, especially if driveway disruptions are planned, the owner needs to be aware of this. A copy of this letter will be submitted to the town for approval prior to being sent.
 - Ensure that all construction safety aspects of work within town rights-of-way are adhered to. This includes the use of proper construction signage within town rights-of-way, insuring that all construction personnel within the construction zone are equipped with the proper safety gear including safety vests and hard hats. Contractor equipment left overnight within the rights-of-way must have proper flagging/safety cones placed around it to notify drivers of the equipment.
 - Road Closures - Any proposed road closures must be approved by KDHP. Project Manager will be responsible for contacting Dare Central, KDHP Police and Fire prior to road closures. Project Manager will then notify all agencies once the road has been reopened.
 - Provide a licensed engineer to oversee the installation of all appurtenances installed within the town right-of-way. The engineer will verify that all infrastructure was installed per the plans. Engineer will sign off on the installation and submit to the State for final approval. Any changes to the plans involving engineering work must be done by licensed NC engineer and approved by the town.
 - The work within the town rights-of-way must be kept in an orderly and neat fashion. No material (soils, gravel or other project fill) can be placed directly on any street surface without matting being put down first. Any damage to any road surface from construction activities must be repaired at the owner's expense.
 - Driveways - Any driveway removals must have a temporary surface put in the same day as removal. Approved surfaces are ABC or millings. No sand or other materials are approved.
 - Driveway culverts - If any driveway culvert work is included in the project, culvert end elevations must be shown on plans prior to construction. Any culvert damage from construction activities must be repaired/replaced at the project owner's expense. Culverts in project area must have filter cloth installed at both ends prior to construction.
 - Drainage infrastructure - All town drainage infrastructure within the project area will be returned to pre-existing conditions prior to final project approval.
 - Seeding and Stabilization - Seeding to be in place within 5 days of project final installations. Grass growth within 10 days. Special note - as it appears the project may be conducted during the holiday summer months, it will be of the utmost importance for the contractor to water the new seeding at least once a day, if not more, in order to get growth and stabilization.

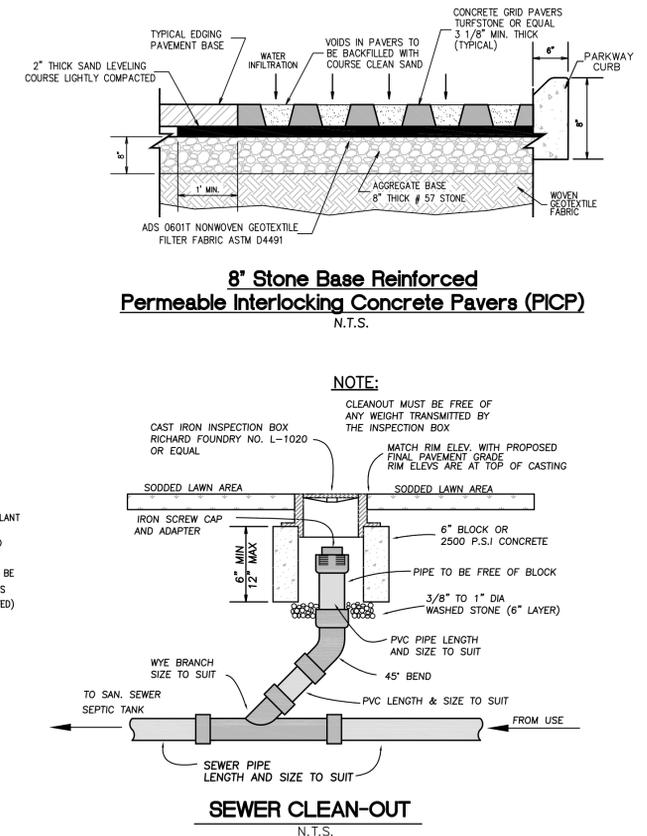
Kill Devil Hills Wastewater Notes
NO SCALE



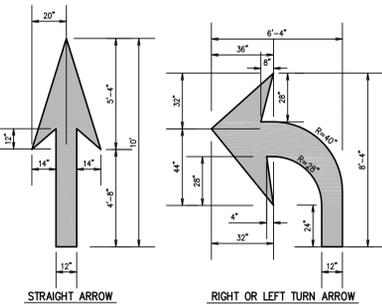
TYPICAL SIDEWALK SECTION
N.T.S.



STANDARD PRECAST CONCRETE MANHOLE
NO SCALE

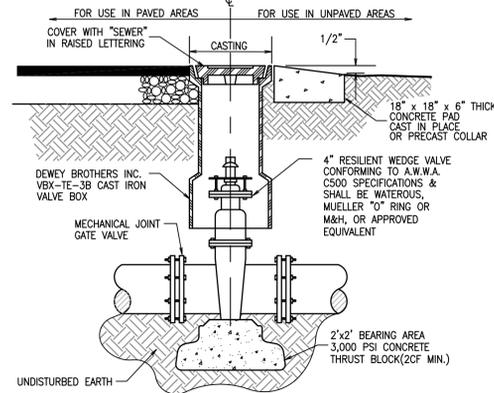


8\"/>

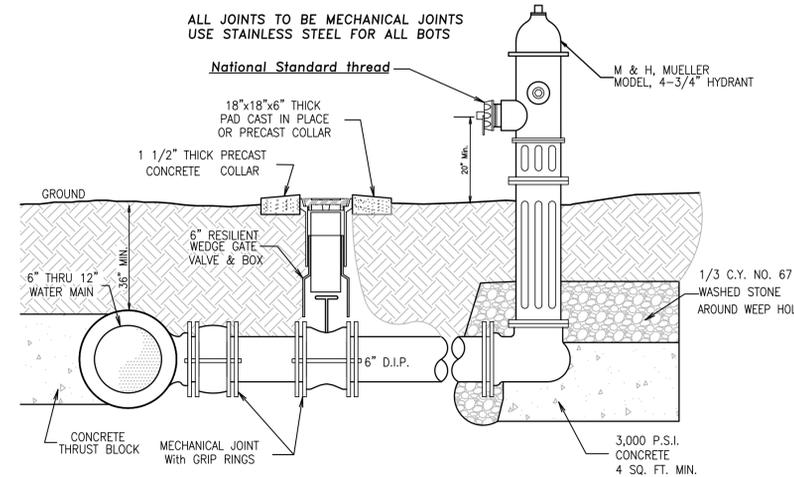


- PAVEMENT MARKINGS SHALL BE THERMOPLASTIC
- ALL PAVEMENT MARKING SYMBOLS SHALL BE WHITE IN COLOR. PAVEMENT MARKING SYMBOLS SHALL NOT BE LOCATED AS TO ENCRUSH INTO INTERSECTION AREAS.
- ON PORTLAND CEMENT CONCRETE PAVEMENTS, PAVEMENT MARKING SYMBOLS SHALL NOT BE PLACED ACROSS TRANSVERSE EXPANSION JOINTS, UNLESS APPROVED BY THE ENGINEER.
- ALL SYMBOLS SHALL CONFORM TO THE FHWA "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" REFER TO SHEET 4 THRU 7). SYMBOL DIMENSIONS MAY VARY ALONG MANUFACTURERS, THEREFORE SLIGHT VARIANCES ARE ACCEPTABLE, HOWEVER, ALL SYMBOLS ARE REQUIRED TO BE APPROVED BY THE DEPARTMENT.

PAVEMENT MARKING-ARROW SYMBOLS
N.T.S.



VALVE BOX ASSEMBLY
N.T.S.



TYPICAL FIRE HYDRANT ASSEMBLY
N.T.S.



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APPROVALS	DATE
Drawn: D. NEFF	05/01/23
Checked: R. HOUSE	05/01/23
Engineer: R. HOUSE	05/01/23

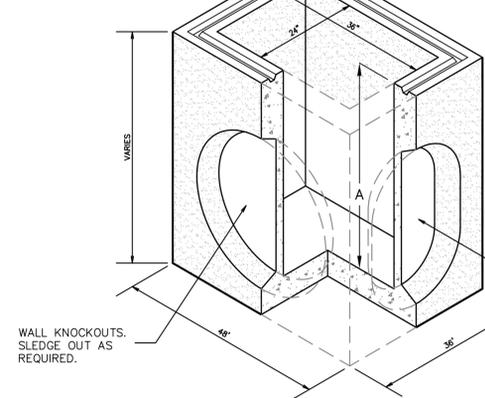
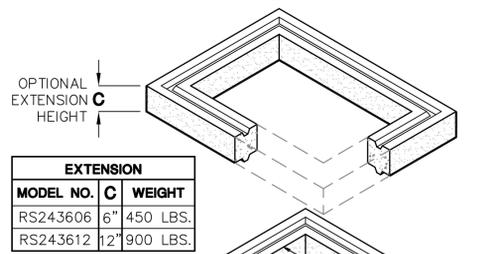
REVISIONS	
No.	Description

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Site and Utility Detail Plan
For: **Village West**
Location: **207 West Martin Street**
Parcel in Kill Devil Hills
Kill Devil Hills Dare County North Carolina

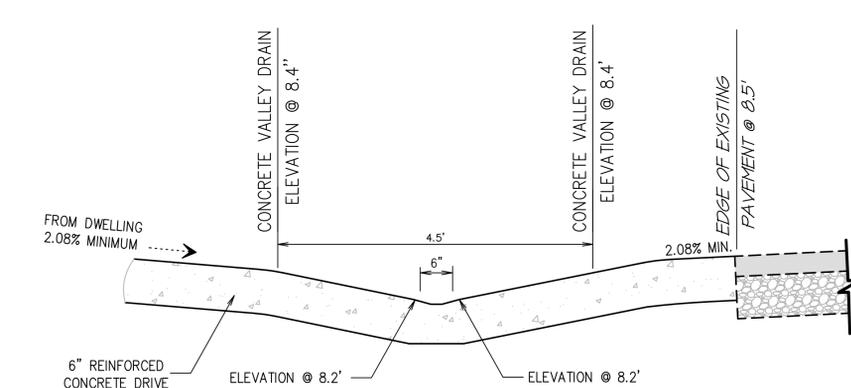
SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	C6 OF 8

CAD FILENAME: 226733 SCALE: 1" = 20'-0"

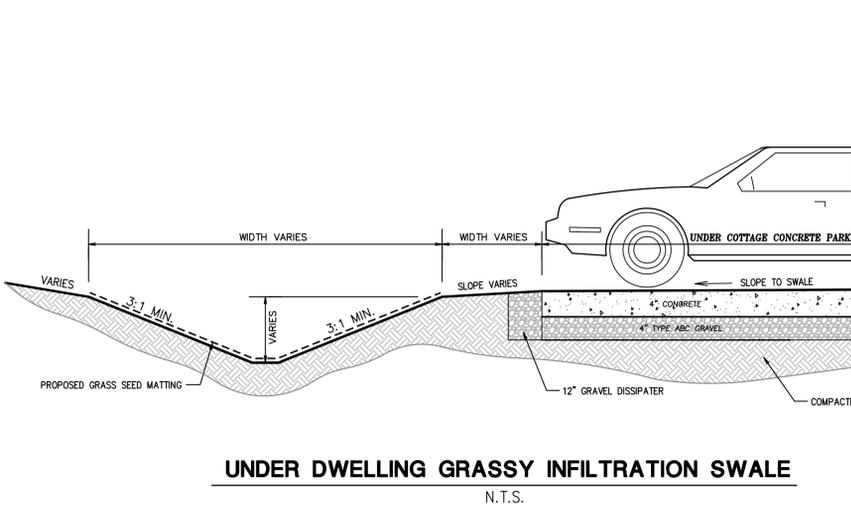


DI2436
24"x36" CURB and YARD INLET
WITH CAST IRON FRAME GRATE, AND HOOD
INLET BOX DETAIL
 N.T.S.

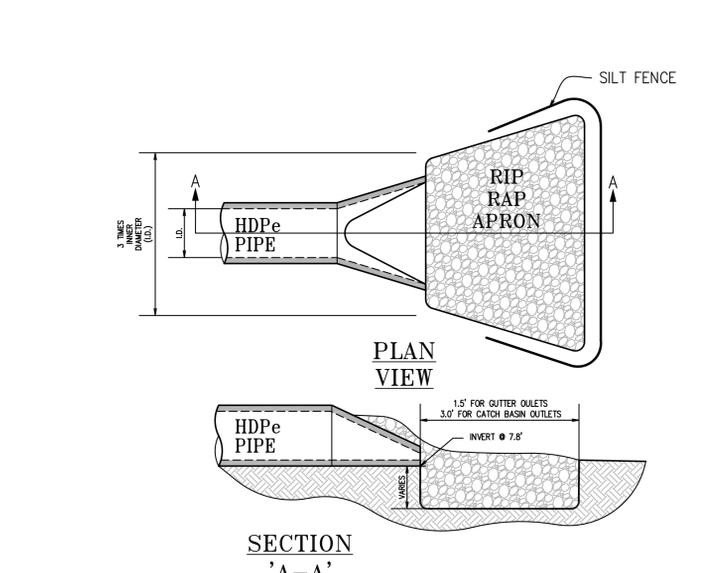
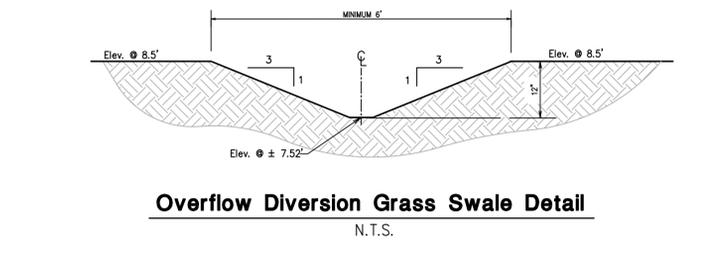
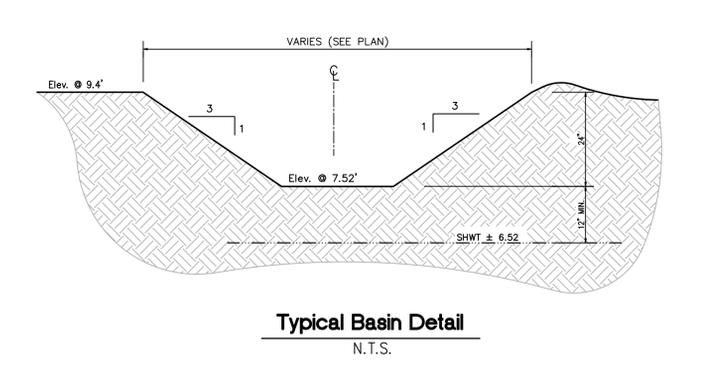
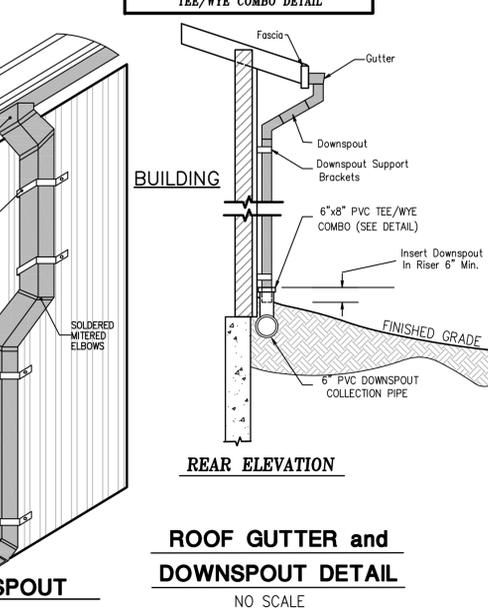
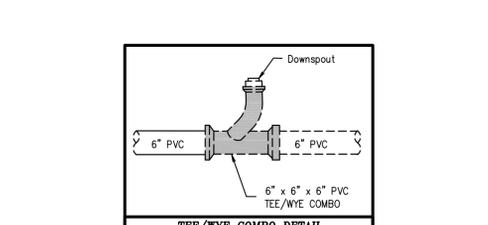
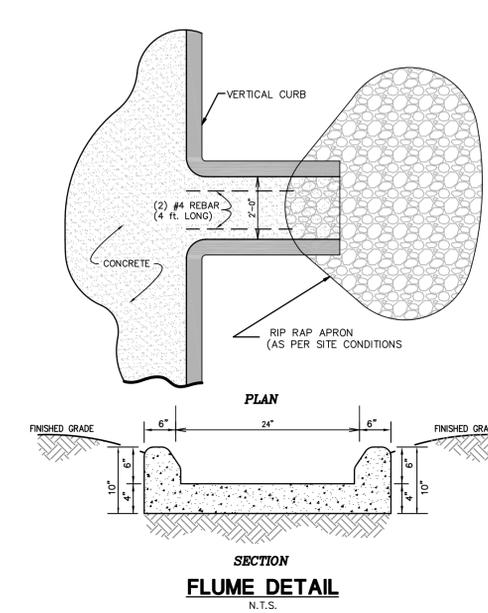
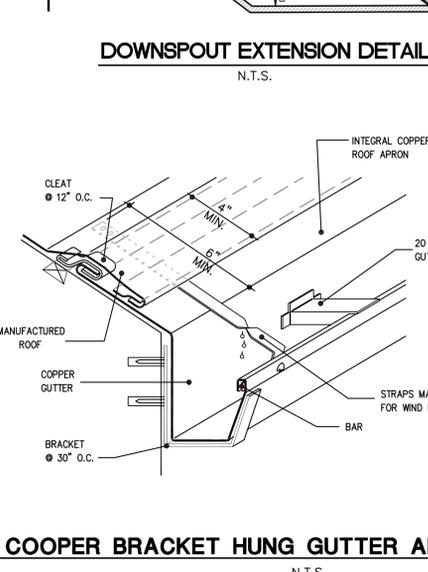
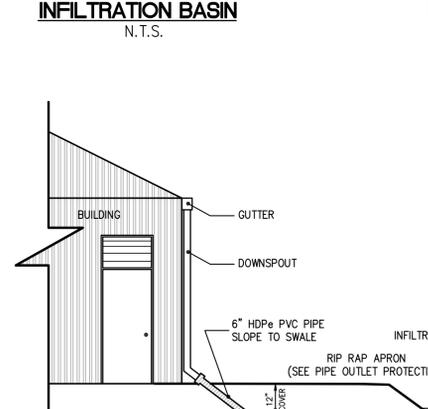
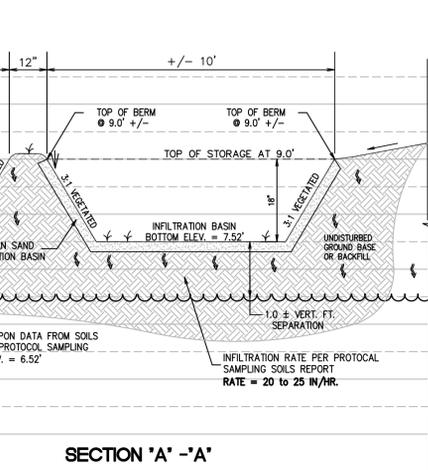
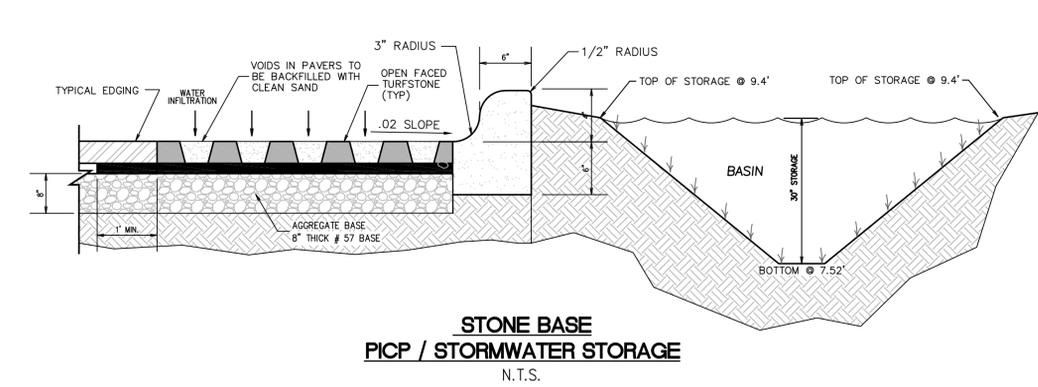
BOX DESIGN LOAD: H-20 FULL TRAFFIC
 FOR COMPLETE DESIGN AND PRODUCT INFORMATION, CONTACT JENSEN PRECAST.



Concrete Valley Channel Drain
 N.T.S.



UNDER DWELLING GRASSY INFILTRATION SWALE
 N.T.S.

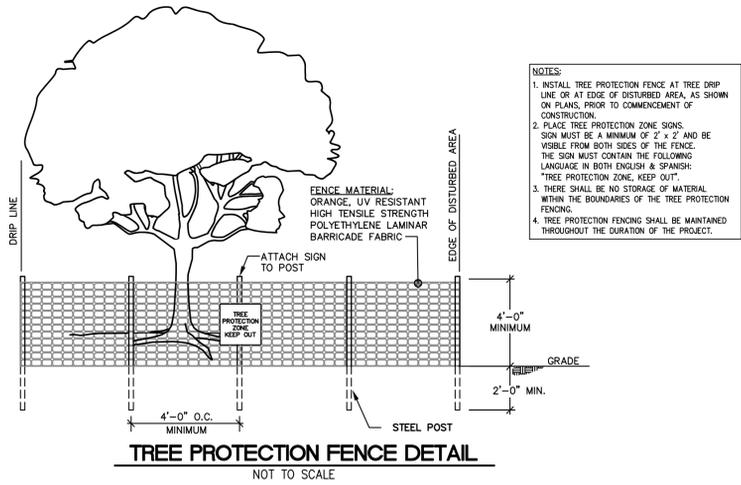


- L = THE LENGTH OF THE RIPRAP APRON
- d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 12 INCHES
- A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIP RAP AND SOIL FOUNDATION.
- IN A WELL-DRENCH CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO 6 INCHES ABOVE THE MAXIMUM TAILWATER DEPTH OR THE TOP OF THE BANK, WHICHEVER IS LESS.

ENGINEER SEAL NORTH CAROLINA REGISTERED PROFESSIONAL ENGINEER R. HOUSE No. 24740 FIRM CERTIFICATION # C-1955		HOUSE ENGINEERING, P.C. Post Office Box 466 - 6475 N. Croatan Hwy, Suite 201 Kitty Hawk North Carolina 27949 Office# (252) 261-8253 E-Mail: info@houseengineering.net	
Grading and Drainage Detail Plan For: Village West Location: 207 West Martin Street Parcel in Kill Devil Hills Kill Devil Hills Dare County North Carolina			
APPROVALS Drawn: D. NEFF 05/01/23 Checked: R. HOUSE 05/01/23 Engineer: R. HOUSE 05/01/23		REVISIONS No. Date Description	
SIZE D 226733		PROJECT NUMBER 226733	
CAD FILENAME: 226733		SCALE: 1" = 20'-0" SHEET NO. C7 OF 8	

TREE PRESERVATION NOTES

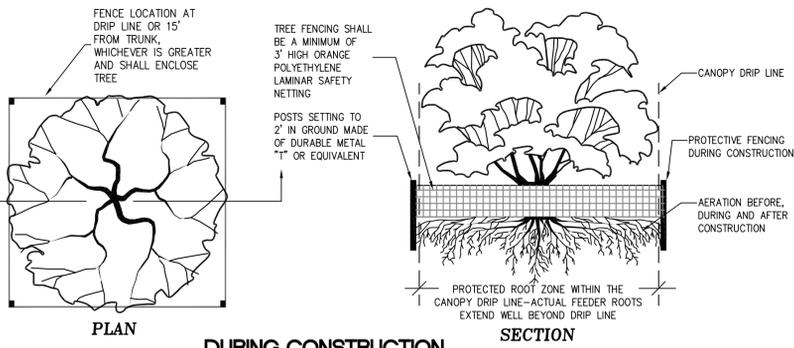
1. ALL TREES NOT LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE OF DISTURBED AREAS SHALL BE PRESERVED. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL TREES TO BE PRESERVED FROM HIS ACTIVITIES.
2. ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION ON THE PLANS, SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING. SEE: TREE PROTECTION FENCE DETAIL THIS SHEET
3. TREE PROTECTION FENCES SHALL BE ERRECTED ACCORDING TO TOWN OF KDH STANDARDS FOR TREE PROTECTION, INCLUDING TYPES OF FENCING AND SIGNAGE.
4. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
5. EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIFLINES.
6. FENCES SHALL COMPLETELY SURROUND THE TREE OR CLUSTERS OF TREES, LOCATED AT THE OUTERMOST LIMITS OF THE TREE BRANCHES (DRIFLINE) OR CRITICAL ROOT ZONE (CRZ), WHICHEVER IS GREATER, AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT IN ORDER TO PREVENT THE FOLLOWING:
 - 6A. SOIL COMPACTION IN CRZ AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIAL.
 - 6B. CRZ DISTURBANCES DUE TO GRADE CHANGES OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE FORESTRY MANAGER.
 - 6C. WOUNDS TO EXPOSED ROOTS, TRUNK, OR LIMBS BY MECHANICAL EQUIPMENT
 - 6D. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CONCRETE TRUCK CLEANING, AND FIRES.
7. ALL GRADING WITHIN CRZ AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE. PRIOR TO GRADING, RELOCATE PROTECTIVE FENCING TO 2 FEET WITHIN THE GRADE CHANGE AREA.
8. NO LANDSCAPE TOPSOIL DEPRESSING GREATER THAN FOUR (4) INCHES SHALL BE PERMITTED WITHIN THE DRIFLINE OR CRZ OF TREES, WHICHEVER IS GREATER. NO TOPSOIL IS PERMITTED ON ROOT FLARES OF ANY TREE.
9. WOODED AREAS ARE NEW GROWTH, WITHIN THE LAST 20 YEARS, EXISTING LIVE OAKS THAT ARE HEALTHY ARE TO BE PRESERVED AS PER PLAN



TREE PROTECTION FENCE DETAIL

NOT TO SCALE

- NOTES:
1. INSTALL TREE PROTECTION FENCE AT TREE DRIFLINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 2. PLACE TREE PROTECTION ZONE SIGNS. SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION ZONE, KEEP OUT".
 3. THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
 4. TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.



ROOT ZONE and DRIP LINE PROTECTION

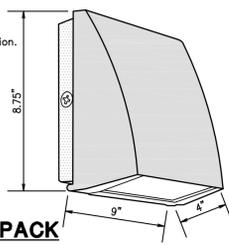
NOT TO SCALE

LANDSCAPE NOTES

- Landscape areas shall be properly maintained. The owner shall be notified in writing by the zoning official of the town of any areas which are not being properly maintained, and the owner shall, within 15 calendar days of receipt of the notice, restore the landscaped area to a satisfactory condition, meet the requirements of this code.
- Landscaping shall not be considered to be complete until after 90 days of healthy growth. Contractor shall be responsible to replace all unhealthy or dead landscaping. Contractor shall remain responsible for all replaced landscape with the 90 day healthy growth requirement. Being applicable to all replaced landscaping.
- Dig planting hole no deeper than the root ball height. Excavate hole 2-3 times the width of the root ball diameter.
- Roughen the sides of the planting hole, before placing the tree in the planting hole, prune only dead or broken branches and remove any tree wrap, tape, string, and tags from tree trunk and branches.
- Slightly lower the tree into the hole so that the trunk flare is at or slightly above the original grade.
- Backfill 1/3 of the planting hole with original soil to stabilize root ball and keep tree upright.
- Cut and remove top 2/3 of the wire basket. Cut and remove top 2/3 of the burlap from completely backfill hole with original soil and add soil amendment if needed.
- Create a mulch ring around the tree and a 3-6" high soil and mulch berm at the edge of the hole. Keep mulch away from the trunk.
- Contractor shall be responsible for all plant counts and square footage. If any part of this plan can not be followed due to site conditions contact owner/town prior to commencing work.
- All trees in rows to be aligned unless shown otherwise
- Plant all trees a minimum of 2 feet from any drain lines. The Landscape contractor shall verify the location of all drain lines prior to commencing work.
- Trees are to be a minimum of 3 1/2 feet away from any hardscape such as curbs, walks parking stalls, etc.
- Prior to any excavating to any landscaping purposes, the location of all under ground utilities shall be determined.
- Grass and ground cover. Ground cover shall be placed or planted on all disturbed portions of exposed ground or earth not occupied by natural or other landscape material.
- All dumpsters shall be screened on three sides by a fence. The screening shall exceed the height of the intended container by 12 inches. The opening for the removal of trash pickup shall allow for a clearance of 12 inches on each side of the container and 24 inches at the rear of the container. Design shall be approved by the Department of Public Services, Public Works Division.
- Any existing natural landscape shall be preserved whenever possible. Existing natural landscape that meets minimum requirements may be credited towards the proposed landscape requirements.
- Where a vegetative screen is required between two incompatible uses, the perimeter landscape area shall contain one shrub, at least 30 inches high planted 2 1/2 feet on center. The type of shrub used needs to be capable of attaining a height of at least 6 feet at maturity. Plant materials and/or planted berms shall be installed so as to screen the parking areas from adjacent properties and streets.
- Within the sight triangle, no plant material, signage or any other obstruction shall interfere with an individual's vehicle sight line. No plant material shall exceed 30 inches in height at maturity; trees shall be trimmed so that branches are at least seven feet above curb level
- plants shall be sufficiently sized to ensure screening within three years. Where a vegetative screen is required, plant materials shall be sufficiently sized as practicable to ensure obscuring within three years. Seeding plants may be used where berms or structures are required or where the proposed use is contiguous to a street or vacant land that does not have proposed development in the review process.

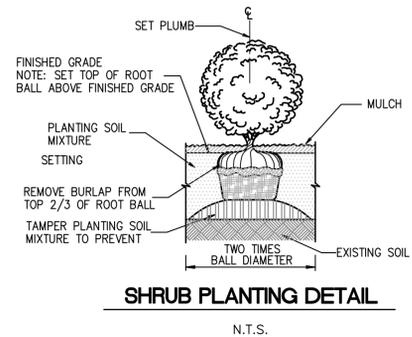
LIGHTING NOTES

- ALL LIGHT PRODUCED ON SITE SHALL BE CONTAINED WITHIN THE PERIMETER OF THE SITE BY DESIGN, ORIENTATION OR SHIELDING OF THE LIGHT SOURCE
- Mounting: Die-cast back box with four (4) conduit entry points and knockout pattern for junction box or direct wall mounting. Hinged housing and bubble level for easy installation.
- Full Cutoff: Full cutoff meets dark-sky requirements
- Recommended Mounting Height: Up to 20 ft
- RAB 12, Watt SLIM Wallpacks are designed to cover the footprint of most traditional wallpacks. They are suitable for mounting heights from 15' to 30'. These ultra-high efficiency fixtures are full cutoff



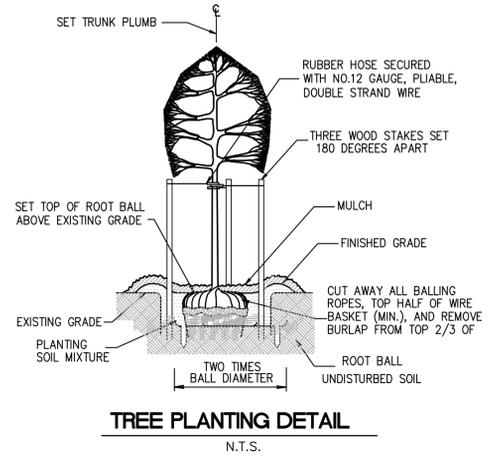
RAB SLIM POLE AND WALLPACK (MODEL# SLIM12N)

NOT TO SCALE



SHRUB PLANTING DETAIL

N.T.S.



TREE PLANTING DETAIL

N.T.S.

WPLED52

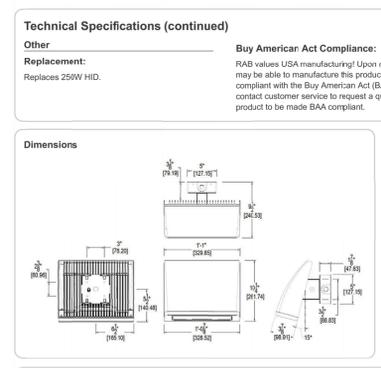


Project:	Type:
Prepared By:	Date:
Driver Info	LED Info
Type: Constant Current	Watts: 52W
120V: 0.51A	Color Temp: 5000K
208V: 0.33A	Color Accuracy: 73 CRI
240V: 0.29A	L70 Lifespan: 100000
277V: 0.24A	Lumens: 7122
Input Watts: 59W	Efficacy: 121 LPW
Efficiency: 89%	

Technical Specifications

- Listings:** UL Listing: Suitable for wet locations. DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: P0000173W
- IESNA LM-79 & IESNA LM-80 Testing:** RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.
- LED Characteristics:** Lifespan: 100,000-hour LED lifespan based on ES LM-80 results and TM-21 calculations. LEDs: Two (2) multi-chip, high-output, long-life LEDs. Color Consistency: 7-step MacAdam Ellipse binning to achieve consistent future-to-future color. Color Stability: LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period. Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.
- Electrical:** Drivers: Two drivers, constant current, 720mA, Class 2, 100-277V, 50-60 Hz, 100-277VAC, 8 Amps.
- Reflector:** Specular vacuum-metallized polycarbonate
- Gaskets:** High temperature silicone.
- Lens:** Tempered glass
- Finish:** Formulated for high-durability and long lasting color.
- Green Technology:** Mercury and UV free, RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.
- Other:** California Title 24: See WPLED52BL for a 2013 California Title 24 compliant product. Any additional component requirements will be listed in the Title 24 section under technical specifications on the product page. Warranty: RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. Patents: The WPLED design is protected by patents in the U.S. Pat D653,377, Canada Pat. 142252, China Pat. ZL20113035920.8, and Mexico Pat. 36921 and pending patent in TW.

WPLED52



Ordering Matrix

Family	Cutoff	Wattage	Color Temp	Finish	Driver Options	Options
WPLED	Blank = Standard (15°)	80 = 80W	Blank = 5000K (Cool)	Blank = Bronze	Blank = 120-277V	Blank = No Option
	C = Cutoff (7.5°)	52 = 52W	N = 4000K (Neutral)	W = White	MB = 480V	PCS = 120V Sevel Protocol
	FC = Full Cutoff (0°)		Y = 3000K (Warm)		BL = Bi-Level	PCS2 = 277V Sevel Protocol
					ID10 = 0-10V Dimming	PCS4 = 480V Sevel Protocol
						ILC = Lightcloud®

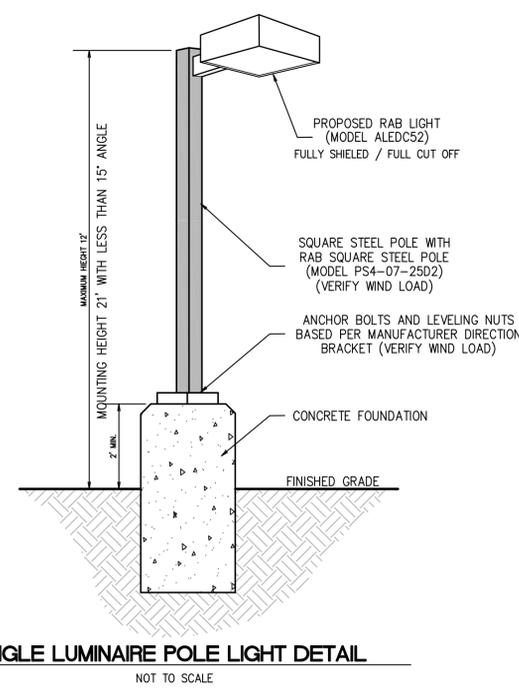
- 10.34.1. Light fixtures shall be located on the site and designed, shielded, or oriented in such a manner as to minimize light spill across property lines and prevent glare at any location on or off the property.
- 10.34.2. Except for fixtures which are permitted by this Article to be used for vertical illumination or for multi-purpose recreation fields, all light fixtures shall be cut-off fixtures as defined in Appendix A - Definitions.
- 10.34.3. All wiring to light fixtures not located on a building shall be placed underground.
- 10.34.4. Principal buildings shall provide security lighting.
- 10.34.5. Light fixtures and supporting structures shall be designed and constructed to comply with state building code requirements.
- 10.34.6. No light fixture, including signs, shall exceed thirty-five (35) feet in height, except as specified in subsections 10.34.7 or 10.37.5.6. Where existing nonconforming light fixtures exist, including signs, such light fixtures and sign may be replaced provided there is no increase in the degree of nonconformity.

RAB LIGHT DETAIL (WPLED52)

N.T.S.

LIGHTING NOTES

- ALL LIGHT PRODUCED ON SITE SHALL BE CONTAINED WITHIN THE PERIMETER OF THE SITE BY DESIGN, ORIENTATION OR SHIELDING OF THE LIGHT SOURCE



SINGLE LUMINAIRE POLE LIGHT DETAIL

NOT TO SCALE

LIGHTING NOTES

- 1) REFER TO TOWN OF KILL DEVIL HILLS ORDINANCE, SECTION 48-326 and 48-328 - Lighting plan required. (EXTERIOR LIGHTING)
- 2) DOMINION POWER MAY PROVIDE SITE LIGHTING - OWNERS OPTION.
- 3) EXTERIOR LIGHTING SHALL BE FIXTURES WITH TRUE FULL CUT-OFF AND FULLY SHIELDED. WALL PACKS LIGHTS SHALL BE MOUNTED 9' ±
- 4) EXTERIOR LIGHTING CONTROLLED BY A TIMER SYSTEM. FOR STANDARD TIME, LIGHTS SHALL BE SET TO TURN ON AT 5:00 PM AND OFF AT 7:00 AM. FOR DAYLIGHT SAVING TIME, LIGHTS SHALL BE SET TO CUT ON AT 7:00 PM AND TURN OFF AT 6:00 AM UNLESS OTHERWISE SPECIFIED BY THE USE DEMAND OR THE PROPERTY OWNER AND/OR TOWN OF KILL DEVIL HILLS.
- 5) ALL WALL MOUNTED SITE LIGHTS TO BE PROVIDED WITH MANUAL OVERRIDES.
- 6) LIGHT POLE FOUNDATION TO BE DESIGNED BY A STRUCTURAL ENGINEER. LIGHT POLE BASE DETAIL SHOWN HEREON IS FOR ELECTRIC & CONDUIT LAYOUT.
- 7) ALL ARCHITECTURAL AND LANDSCAPE LIGHTING TO BE 40 WATTS OR LESS.
- 8) LUMINAIRE CALCULATIONS BASED ON THE PROPOSED SITE LOCATION, LIGHT POLE HEIGHT AND FIXTURE AND ARE APPROXIMATE. FOOTCANDLE READINGS AT THE PROPERTY LINES SHALL BE CERTIFIED BY A REGISTERED ENGINEER BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED FOR THE STRUCTURE.
- 9) ILLUMINATION STANDARDS MUST BE MET PRIOR TO FINAL APPROVAL.
- 10) IN NO INSTANCE SHALL ILLUMINATION LEVELS WITH IN THE SITE EXCEED 30 FOOT CANDLES
- 11) ALL LIGHTING ILLUMINATION SHALL MEET INTERNATIONAL DARK SKY REQUIREMENTS
- 12) ALL UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC AND BE A MINIMUM OF 1 INCH, UNLESS NOTED OTHERWISE.
- 13) ALL ELECTRIC WIRING FOR POLE MOUNTED LIGHTS SHALL BE UNDERGROUND.
- 14) CONTRACTOR TO PROVIDE PROTECTION FROM PHYSICAL DAMAGE FOR SWITCHBOARDS, PANEL BOARD AND OTHER ELECTRICAL EQUIPMENT (3' FROM EQUIPMENT)



HOUSE ENGINEERING, P.C.
 Post Office Box 466 - 6475 N. Croatan Hwy, Suite 201
 Kitty Hawk, North Carolina 27949
 Office# (252) 261-8253 E-Mail: info@houseengineering.net

LANDSCAPE AND LIGHTING DETAIL PLAN

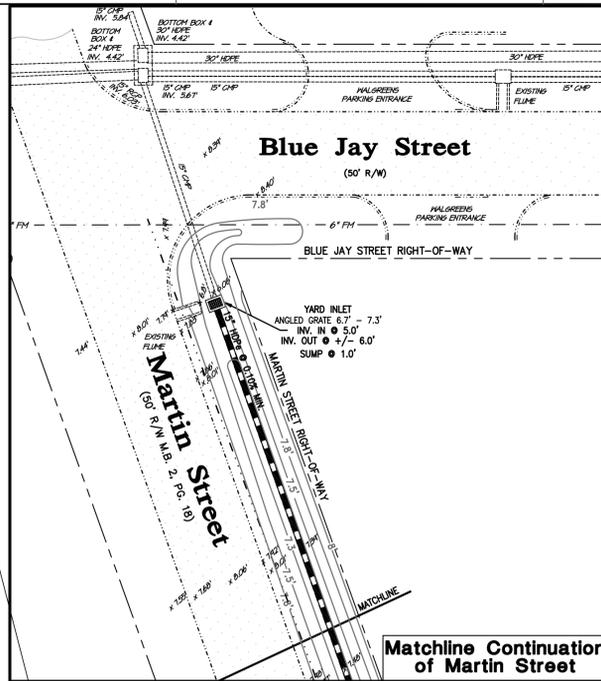
For: **Village West**
 Location: **207 West Martin Street**
Parcel in Kill Devil Hills
Kill Devil Hills Dare County North Carolina

APPROVALS	DATE
Drawn: D. NEFF	05/01/23
Checked: R. HOUSE	05/01/23
Engineer: R. HOUSE	05/01/23

REVISIONS	
No.	Date

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	C8 of 8

CAD FILENAME: 226733 SCALE: 1" = 20'-0"



STATE STORMWATER PERMIT SHALL BE REQUIRED PRIOR TO PERMITTING.

INSTALL CONTINUOUS TEMPORARY STORMWATER CONTROL MEASURES SURROUNDING THE BUILDING PAD FILL AREA

General Notes

- SUBJECT PROPERTY: Lots: 9-15, Block 18, Kill Devil Hills Realty Corp
Kill Devil Hills, NC 27948
- STREET ADDRESS: 207 Martin Street
Kill Devil Hills, NC 27948
- PARCEL ID NUMBER: 004388000
- GLOBAL PIN: 988312868497
- RECORDED REFERENCE: OWNER: THE WOODS AT KITTY HAWK LLC, P.O. Box 3629, KDH, 27948
DB: 2637 PG. 0514, (08/09/2022)
- ZONING: LOW DENSITY RESIDENTIAL (RL), SPECIAL USE: CLUSTER HOME FOR LONG TERM OCCUPANCY
ALL BUILDINGS SHALL BE LONG OCCUPANCY PER 153.002.
DEFINITION: A RESIDENTIAL DWELLING THAT IS OCCUPIED AND USED FOR RESIDENCY AND HOUSEKEEPING PURPOSES FOR A PERIOD OF 31 DAYS OR MORE AND HAS A USE AGREEMENT RECORDED WITH THE REGISTER OF DEEDS THAT REQUIRES 21 OR MORE CONSECUTIVE DAY MINIMUM OCCUPANCY BY SINGLE TENANT(S) IN PERPETUITY.
- TOTAL PARCEL AREA: 82,717 S.F. (1.90 AC.)
- PROPOSED DEVELOPMENT: (10) 3 BEDROOM RESIDENTIAL COTTAGE DWELLINGS
(11) 2 BEDROOM RESIDENTIAL COTTAGE DWELLINGS
(Single-Family) WOOD FRAME STRUCTURE ON PILINGS WITH CONCRETE PARKING AREA UNDERNEATH
1.90 (Ac.) / 12 (UNITS/ACRE) = 22 MAX. UNITS (21) PROPOSED
- LOT COVERAGE: BUILDING AND DECKS - 850 SF/ UNIT x 21 = 17,850 SQ. FT.
VEHICULAR SURFACE - 9,984 SQ. FT.
CONCRETE CURB - 711 SQ. FT.
CONCRETE WALK - 460 SQ. FT.
CONCRETE DUMPSTER - 150 SQ. FT.
- PARKING DATA: 10 (3) BEDROOM UNITS @ 1 SPACE PER BEDROOM = 30 SPACES
11 (2) BEDROOM UNITS @ 1 SPACE PER BEDROOM = 22 SPACES
TOTAL SPACES REQUIRED = 52 SPACES (26 Outside Dwelling)
TOTAL SPACES PROVIDED = 57 SPACES
- MAX. BUILDING HEIGHT: 42 OVERALL (35' TO TOP PLATE)
- ELEVATION REFERENCED: NAVD 88
FLOOD ZONE "X", RFE 8' (TOP OF SLAB @ 9.8 - 10.2)
- BOUNDARY AND INFORMATION TAKEN FROM "Seaboard Surveying & Planning, Inc."

Legend

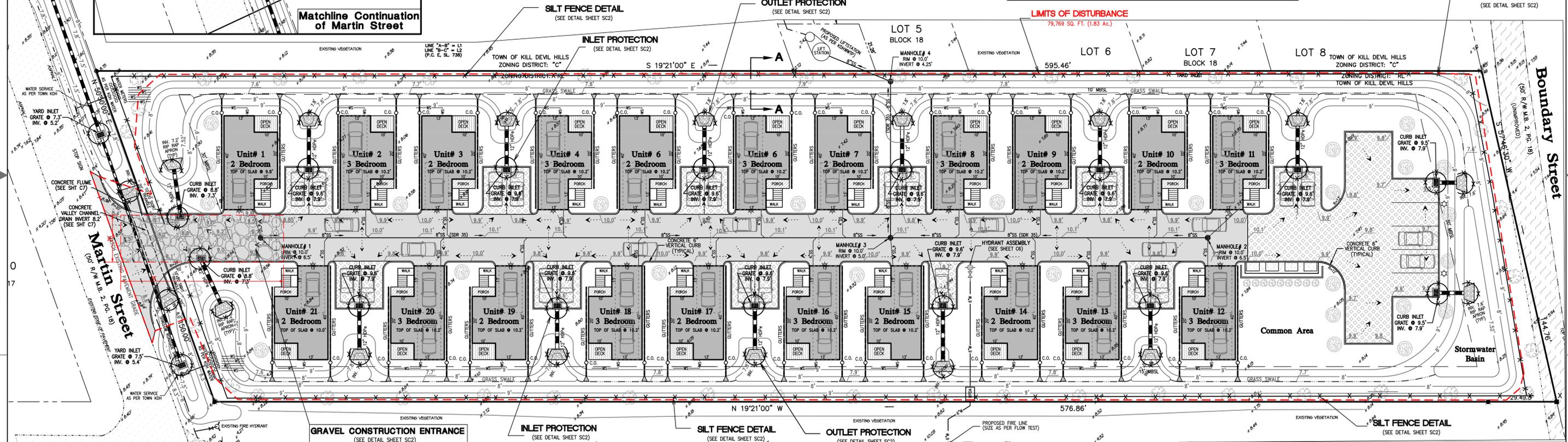
- PROPOSED DWELLING AREA
- PROPOSED VEHICLE CIRCULATION AREA
- PROPOSED CONCRETE AREA
- EXISTING ROAD SURFACE
- PROPOSED DECK
- PROPOSED REINFORCED VEHICLE CIRCULATION AREA (6" 3,000 PSI CONCRETE)
- PROPOSED INTERLOCKING CONCRETE GRID PAVERS WITH 8" OF WASHED STONE BASE
- PROPOSED CURB INLET / CATCH BASIN
- PROPOSED STORMWATER PIPE
- PROPOSED RUNOFF DIRECTIONAL ARROW
- PROPOSED FINISHED GRADE CONTOUR
- PROPOSED FINISHED SPOT GRADE
- EXISTING SPOT GRADE

12" HDPE

8"

9.8'

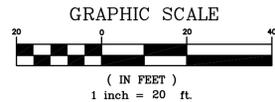
4.0'



BEFORE YOU DIG!



NOTE:
THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.



ENGINEER SEAL

Firm Certification # C-1955
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APPROVALS		DATE
Drawn:	D. NEFF	05/01/23
Checked:	R. HOUSE	05/01/23
Engineer:	R. HOUSE	05/01/23

REVISIONS		
No.	Date	Description

HOUSE ENGINEERING, P.C.

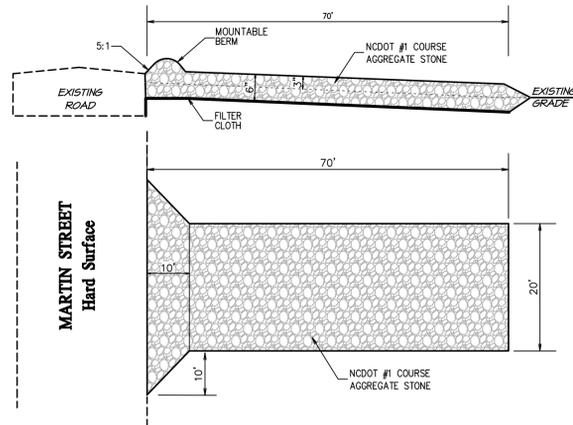
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Office# (252) 261-8253 E-Mail: info@houseengineering.net

Soil Erosion and Sedimentation Control Plan

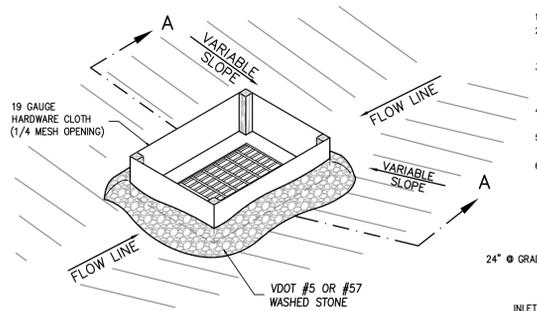
For:
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SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	SC1 OF 2

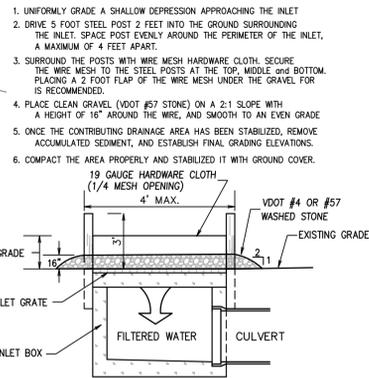
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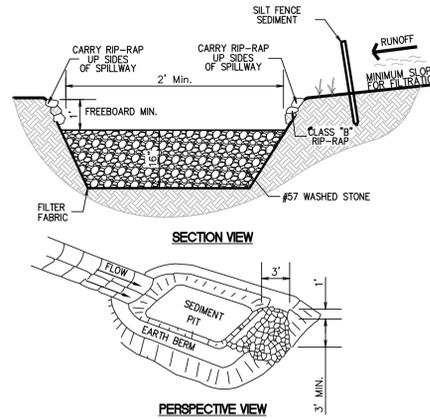
PROPOSED GRAVEL CONSTRUCTION ENTRANCE
(IF EXISTING CONCRETE DRIVEWAY DEEMED UNUSABLE)
N.T.S.



SILT BARRIER FENCE FOR INLET PROTECTION
N.T.S.



**PRE DEVELOPMENT
TEMPORARY SEDIMENT BASIN**
N.T.S.



Seeding Specifications

PERMANENT VEGETATION

SEEDING DATES: APRIL 1 – SEPT 30

SEED MIXTURE	APPLICATION RATES/ACRE
BAHIA	50 LBS.
COMMON BERMUDA (UNHULLED)	50 LBS.
GERMAN MILLETT	15 LBS.
FESCUE	20 LBS.
FERTILIZER	26-13-13 @ 500 LB/ACRE
MULCH	APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.
BEACH GRASS	SPRIG AT 6" O.C.

TEMPORARY VEGETATION

SEEDING DATES: OCT. 1 – MARCH 31

SEED MIXTURE	APPLICATION RATES/ACRE
RYE GRAIN	175 LBS.
FERTILIZER	10-10-10 @ 1000 LB/ACRE
MULCH	APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

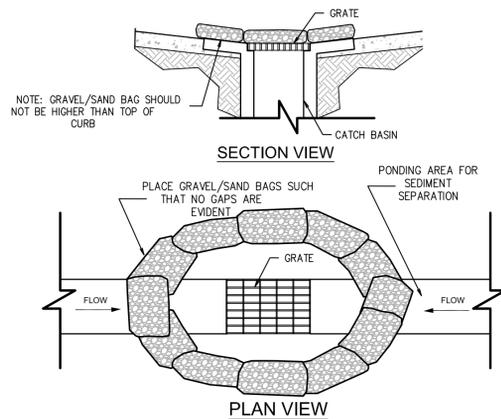
GENERAL:
- FERTILIZER RATES SHOWN ARE GENERAL RECOMMENDATIONS; FREQUENCY AND AMOUNT OF FERTILIZATION CAN BEST BE DETERMINED THROUGH SITE SPECIFIC SOIL TESTING.
- SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER EVEN SMALL BREACHES IN VEGETATIVE COVER CAN EXPAND RAPIDLY IF LEFT UNATTENDED. A SINGLE HEAVY RAIN IS OFTEN SUFFICIENT TO GREATLY ENLARGE BARE SPOTS, AND THE LONGER REPAIRS ARE DELAYED THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDLINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLS DEVELOP THEY MUST BE FILLED, RE-SEED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.
MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE
WEAK OR DAMAGED SPOTS MUST BE RELIED, FERTILIZED, MULCHED AND RE-SEED AS PROMPTLY AS POSSIBLE. REFERTILIZATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STANDS.

ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED ACCORDING TO THE FOLLOWING SPECIFICATIONS:

SOIL EROSION + SEDIMENT CONTROL PLAN NOTES:

CONTROL PLAN NOTES:

- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- FLAG AND/OR ROUGH STAKE WORK LIMITS.
- HOLD PRECONSTRUCTION CONFERENCE (OWNER, CONTRACTOR, ENGINEER, AND APPROPRIATE GOVERNMENT OFFICIALS) AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION ACTIVITIES.
- INSTALL SILT AND SAND FENCING @ LOCATIONS SHOWN ON PLAN
- COMPLETE CLEARING AND GRUBBING PROCEDURES.
- GRADE SITE ACCORDING TO PLAN
- ALL EROSION SEDIMENT CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER HEAVY RAINFALL EVENTS. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
- NO DEBRIS WILL BE BURIED ON THIS SITE.
- ALL EROSION AND SEDIMENT CONTROL, STORMWATER MANAGEMENT AND DRAINAGE DESIGN SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA SEDIMENT AND STORMWATER REGULATIONS AND WITH THE TOWN OF Kill Devil Hills CODE.
- EXISTING UTILITIES ARE IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE GOVERNING UTILITY COMPANIES (3) THREE DAYS PRIOR TO CONSTRUCTION IN ORDER TO VERIFY THE UTILITY LOCATIONS IN THE FIELD.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY AND ALL DAMAGES DONE TO THEM DUE TO HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPETENTLY REPAIRED AT HIS EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS, INSURANCE, BONDS, ETC. REQUIRED BY LOCAL, STATE AND/ OR FEDERAL AGENCIES NECESSARY FOR CONSTRUCTION.
- PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- PROPOSED AREA TO BE DISTURBED IS (+/-) 79,769 SQ. FT.)
- ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN THIRTY DAYS OF LAND DISTURBING ACTIVITIES. IF SAID ACTIVITIES OCCUR OUTSIDE THE PERMANENT VEGETATION SEEDING DATES (APR. 1 – SEP.30) THEN TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING PERIOD, AT WHICH TIME PERMANENT VEGETATION SHALL BE ESTABLISHED ACCORDING TO PERMANENT VEGETATION SEEDING SPECIFICATIONS (SEE PERM. & TEMP. SEEDING SPEC'S THIS SHEET.)
- IF EXCESSIVE WIND EROSION OR STORMWATER RUNOFF EROSION DEVELOPS DURING CONSTRUCTION IN ANY LOCATION ON THE PROJECT, ADDITIONAL SAND OR SILT FENCING SHALL BE INSTALLED AS DIRECTED BY ENGINEER SO AS TO PREVENT DAMAGE TO ADJACENT PROPERTY. SEE SAND AND SILT FENCE DETAIL THIS SHEET.
- SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT CONTROLS ARE ESTABLISHED PER CONSTRUCTION SCHEDULE.

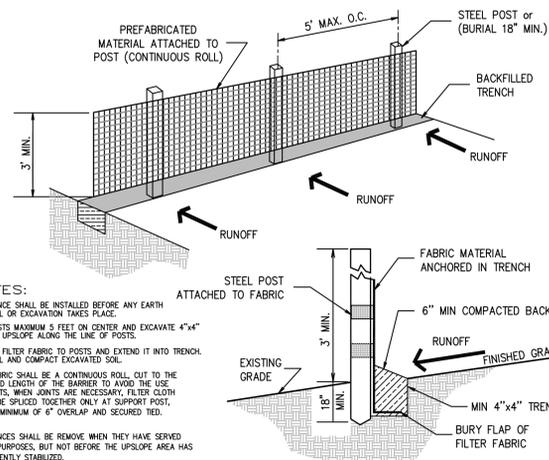


Concrete Valley Channel Drain
N.T.S.

- NOTES:
- PLACE GRAVEL BAG BARRIER ON GENTLY SLOPING STREET, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 - USE SAND BAGS OF WOVEN GEOTEXTILE FABRIC (NOT BURLAP) AND FILL WITH (OR SMALLER) GRAVEL BAGS MUST BE LAYERED SUCH THAT NO GAPS ARE EVIDENT.
 - INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.
 - WHEN INSTALLING CURB INLET PROTECTION DEVICES, NEVER BLOCK THE CURB INLET.

TEMPORARY INLET PROTECTION

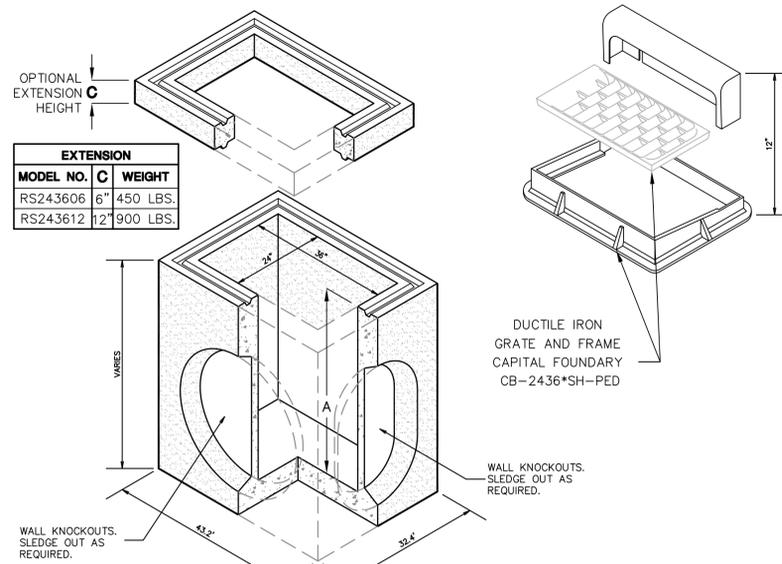
N.T.S.



- NOTES:
- SILT FENCE SHALL BE INSTALLED BEFORE ANY EARTH REMOVAL OR EXCAVATION TAKES PLACE.
 - SET POSTS MAXIMUM 5 FEET ON CENTER AND EXCAVATE 4"x4" TRENCH UPSLOPE ALONG THE LINE OF POSTS.
 - ATTACH FILTER FABRIC TO POSTS AND EXTEND IT INTO TRENCH. BACKFILL AND COMPACT EXCAVATED SOIL.
 - THE FABRIC SHALL BE A CONTINUOUS ROLL, CUT TO THE REQUIRED LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POSTS, WITH A MINIMUM OF 6" OVERLAP AND SECURED TIED.
 - SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR PURPOSES, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

SILT FENCE DETAIL

N.T.S.



EXTENSION	MODEL NO.	C	WEIGHT
	RS243606	6"	450 LBS.
	RS243612	12"	900 LBS.

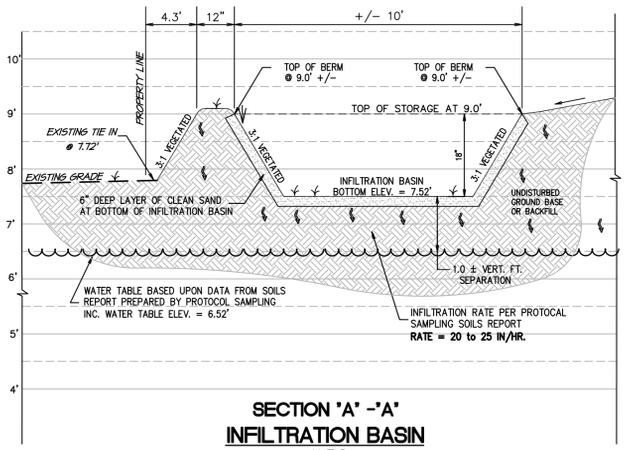
**D12436
24"x36" CURB AND YARD
INLET
WITH CAST IRON FRAME
GRATE, AND HOOD
INLET BOX DETAIL**
N.T.S.

BOX DESIGN LOAD: H-20 FULL TRAFFIC
FOR COMPLETE DESIGN AND PRODUCT INFORMATION, CONTACT JENSEN PRECAST.

EROSION AND SEDIMENT CONTROL

MAINTENANCE NOTES

- PERIODICALLY CHECK ALL GRADED AREAS AND THE SUPPORTING EROSION AND SEDIMENTATION CONTROL PRACTICES, ESPECIALLY AFTER HEAVY RAINFALLS. PROMPTLY REMOVE ALL SEDIMENT FROM DIVERSIONS AND OTHER WATER- DISPOSAL PRACTICES. IF WASHOUTS OR BREAKS OCCUR, REPAIR THEM IMMEDIATELY. PROMPT MAINTENANCE OF SMALL ERODED AREAS BEFORE THEY BECOME SIGNIFICANT GULLIES IS AN ESSENTIAL PART OF AN EFFECTIVE EROSION AND SEDIMENTATION CONTROL PLAN.
- ALL EROSION AND SEDIMENT CONTROL MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION PHASE AND THE PROPERTY OWNER THEREAFTER.
- PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING, AND A PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE MAINTAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION-CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 21 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.



**SECTION 'A' - 'A'
INFILTRATION BASIN**
N.T.S.



Firm Certification # C-1955
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APPROVALS	DATE
Drawn: D. NEFF	05/01/23
Checked: R. HOUSE	05/01/23
Engineer: R. HOUSE	05/01/23

No.	Date	Description

HOUSE ENGINEERING, P.C.
Post Office Box 466 - 6475 N. Croatan Hwy, Suite 201
Kill Hawk North Carolina 27949
Office# (252) 261-8253 E-Mail: info@houseengineering.net

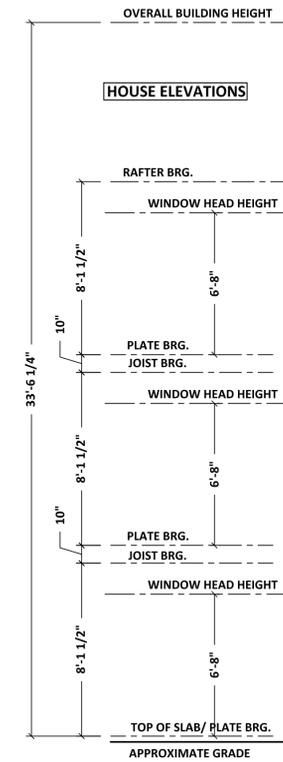
Soil Erosion and Sedimentation Control Detail Plan
For: **Village West**
Location: **207 West Martin Street**
Parcel in Kill Devil Hills
Kill Devil Hills Dare County North Carolina

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	SC2 OF 2

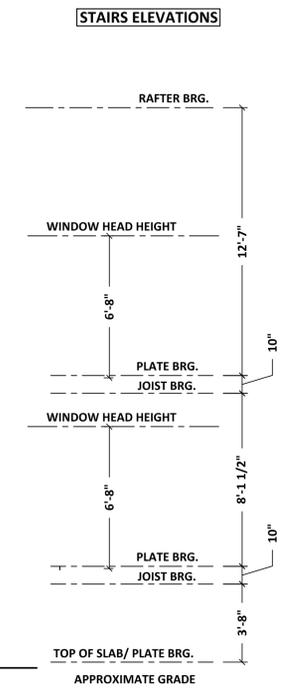
CAD FILENAME: 226733 SCALE: As Noted



RIGHT SIDE ELEVATION 1-A
SCALE: 1/4"=1'-0"



FRONT ELEVATION 1-B
SCALE: 1/4"=1'-0"



REAR ELEVATION 1-C
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION 1-D
SCALE: 1/4"=1'-0"

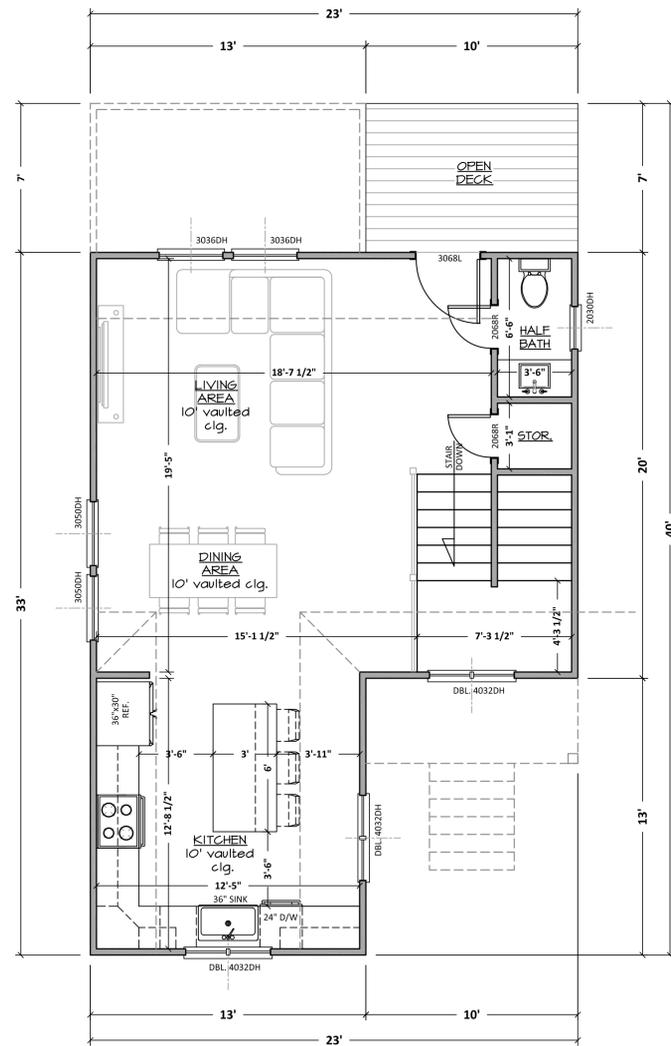
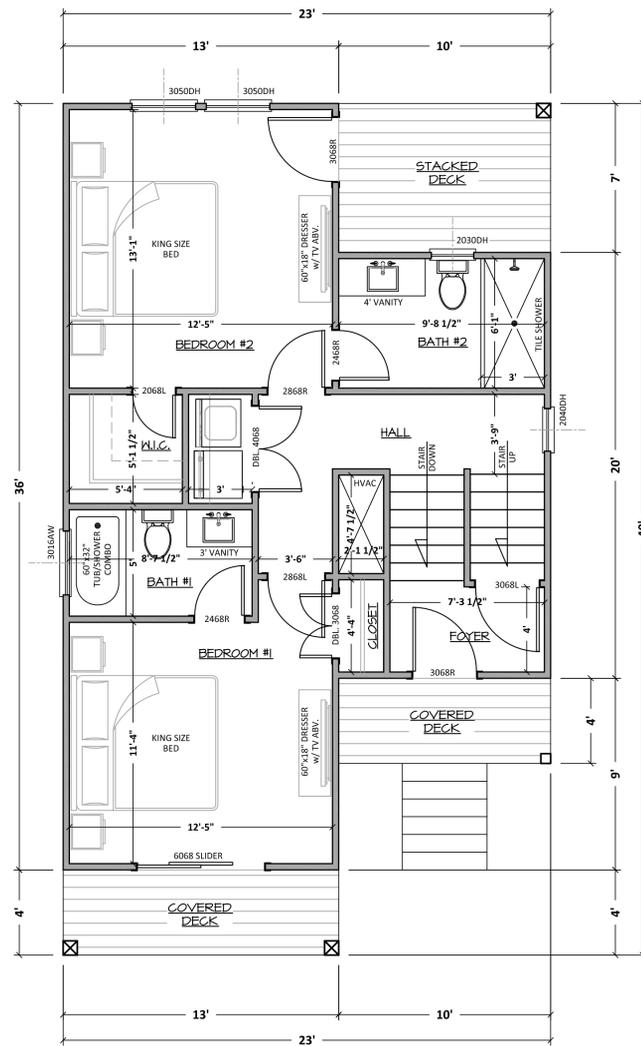
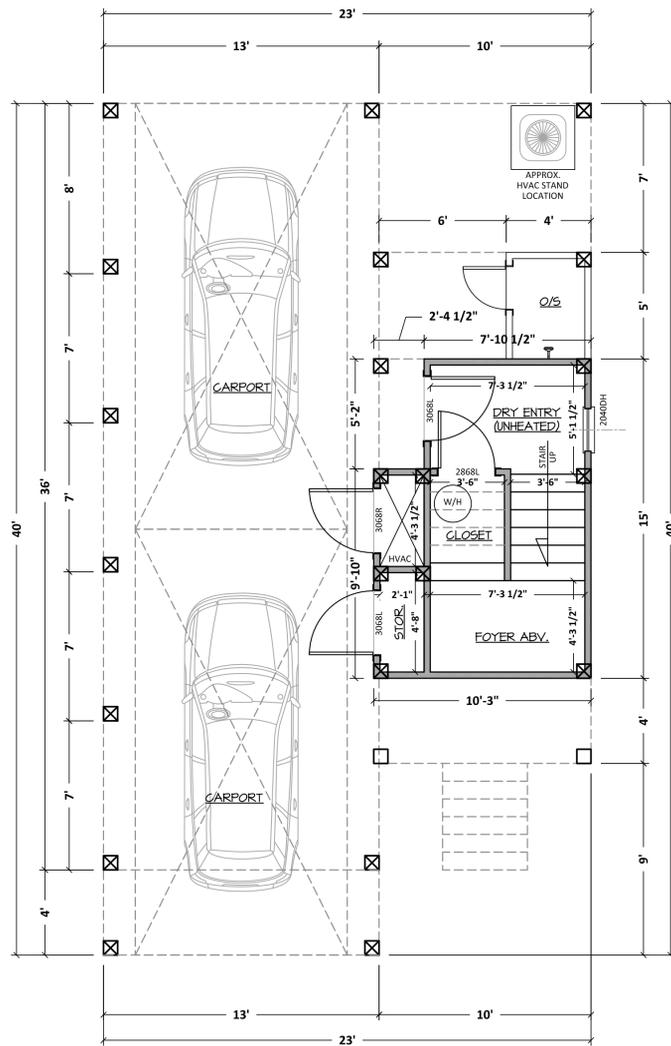
AREA SCHEDULE:	
TOTAL LIVING AREA:	1,297 S.F.
GROUND FLOOR (UNHEATED):	140 S.F.
FIRST FLOOR:	668 S.F.
SECOND FLOOR:	629 S.F.
DECKS:	232 S.F.
BEDROOMS:	2
BATHROOMS:	2.5

HOUSE ENGINEERING, P.C.
P.O. BOX 466
KITTY HAWK, NORTH CAROLINA 27949
OFFICE: (252) 261-8253 FAX: (252) 261-3283
e-mail: rick@houseengineering.net

2-BEDROOM DESIGN - ELEVATIONS
for:
Village West
Property Location:
**20 West Martin Street,
Kill Devil Hills, Dare County, North Carolina**

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	APPROVALS	DATE
	DRAWN B. MORRIS	4/29/2023
	CHECKED R. HOUSE	
	ENGINEER R. HOUSE	
FIRM CERTIFICATION No. C-1955	SUBMITTED R. HOUSE	
ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS.	RECEIVED	
PROJECT CONTACTS:	APPLICABLE DRAWING TOLERANCES	

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	1 OF 2
CAD FILENAME: 226733		SCALE: 1/4" = 1'-0"	



AREA SCHEDULE:	
TOTAL LIVING AREA:	1,297 S.F.
GROUND FLOOR (UNHEATED):	140 S.F.
FIRST FLOOR:	668 S.F.
SECOND FLOOR:	629 S.F.
DECKS:	232 S.F.
BEDROOMS:	2
BATHROOMS:	2.5

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 KITTY HAWK, NORTH CAROLINA 27949
 OFFICE: (252) 261-8253 FAX: (252) 261-3283
 e-mail: rick@houseengineering.net

2-BEDROOM DESIGN - FLOOR PLAN
 for:
Village West
 Property Location:
**20 West Martin Street,
 Kill Devil Hills, Dare County, North Carolina**

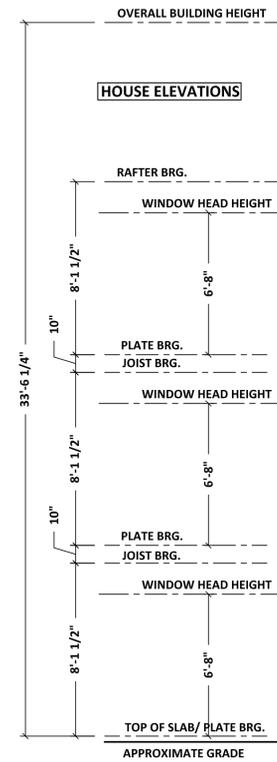
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FIRM CERTIFICATION No. C-1955	DRAWN	B. MORRIS 4/29/2023
	CHECKED	R. HOUSE
ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS.	ENGINEER	R. HOUSE
	SUBMITTED	R. HOUSE
PROJECT CONTACTS:	RECEIVED	
	APPLICABLE DRAWING TOLERANCES	

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	2
			OF 2

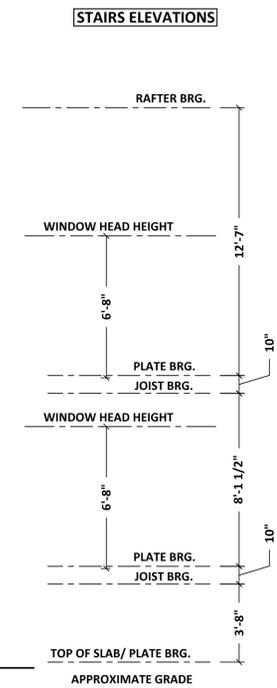
CAD FILENAME: 226733 SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION 1-A
SCALE: 1/4"=1'-0"



FRONT ELEVATION 1-B
SCALE: 1/4"=1'-0"



REAR ELEVATION 1-C
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION 1-D
SCALE: 1/4"=1'-0"

AREA SCHEDULE:	
TOTAL LIVING AREA:	1,388 S.F.
GROUND FLOOR (UNHEATED):	140 S.F.
FIRST FLOOR:	668 S.F.
SECOND FLOOR:	720 S.F.
DECKS:	232 S.F.
BEDROOMS:	3
BATHROOMS:	3

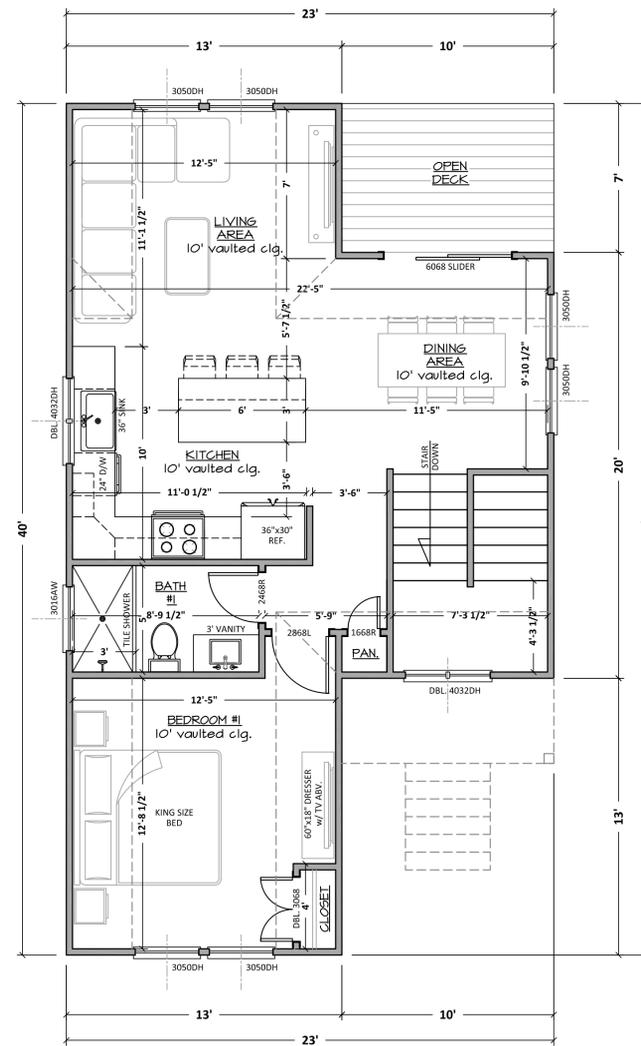
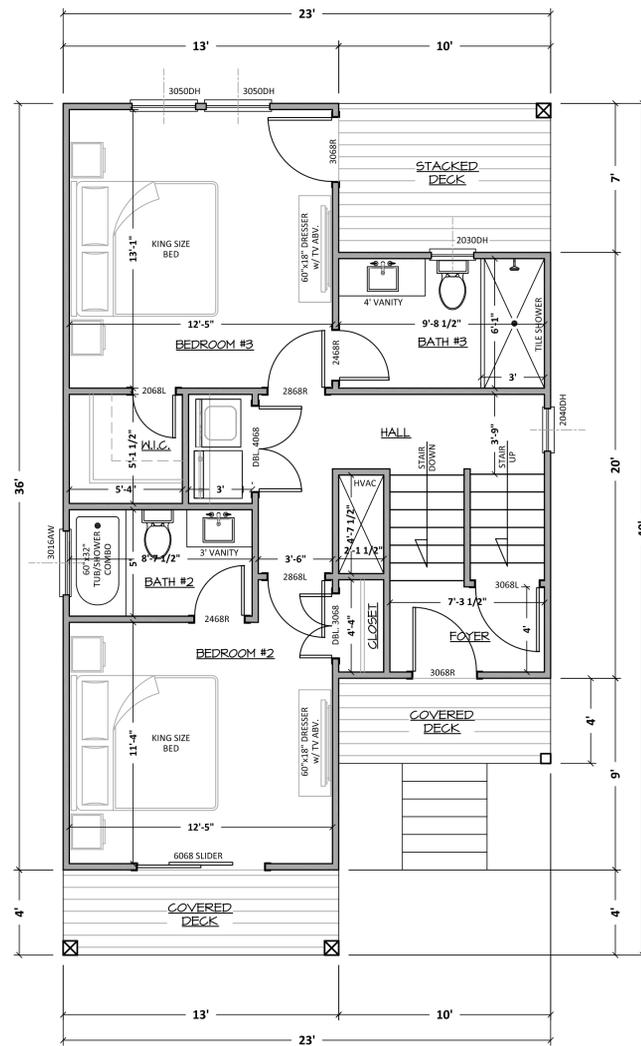
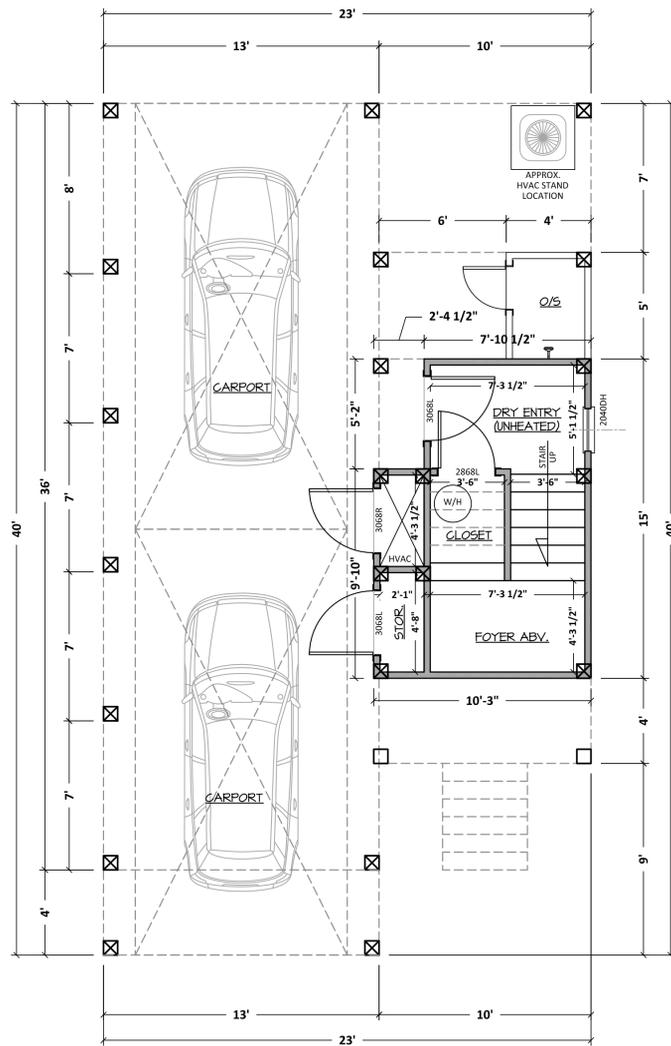
HOUSE ENGINEERING, P.C.
 P.O. BOX 466
 KITTY HAWK, NORTH CAROLINA 27949
 OFFICE: (252) 261-8253 FAX: (252) 261-3283
 e-mail: rick@houseengineering.net

3-BEDROOM DESIGN - ELEVATIONS
 for:
Village West
 Property Location:
**20 West Martin Street,
 Kill Devil Hills, Dare County, North Carolina**

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PRELIMINARY NOT FOR CONSTRUCTION 4/29/2023	APPROVALS	DATE
	DRAWN B. MORRIS	4/29/2023
	CHECKED R. HOUSE	
	ENGINEER R. HOUSE	
FIRM CERTIFICATION No. C-1955	SUBMITTED	R. HOUSE
ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS.	RECEIVED	
PROJECT CONTACTS:	APPLICABLE DRAWING TOLERANCES	

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	1 OF 2

CAD FILENAME: 226733 SCALE: 1/4" = 1'-0"



AREA SCHEDULE:	
TOTAL LIVING AREA:	1,388 S.F.
GROUND FLOOR (UNHEATED):	140 S.F.
FIRST FLOOR:	668 S.F.
SECOND FLOOR:	720 S.F.
DECKS:	232 S.F.
BEDROOMS:	3
BATHROOMS:	3

HOUSE ENGINEERING, P.C.
 P.O. BOX 466
 KITTY HAWK, NORTH CAROLINA 27949
 OFFICE: (252) 261-8253 FAX: (252) 261-3283
 e-mail: rick@houseengineering.net

3-BEDROOM DESIGN - FLOOR PLAN
 for:
Village West
 Property Location:
**20 West Martin Street,
 Kill Devil Hills, Dare County, North Carolina**

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	APPROVALS	DATE
	DRAWN B. MORRIS	4/29/2023
	CHECKED R. HOUSE	
	ENGINEER R. HOUSE	
FIRM CERTIFICATION No. C-1955	SUBMITTED R. HOUSE	
ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS.	RECEIVED	
PROJECT CONTACTS:	APPLICABLE DRAWING TOLERANCES	

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226733	-	2 OF 2

CAD FILENAME: 226733 SCALE: 1/4" = 1'-0"

Director of
Planning and Inspections
MEREDITH GUNS



Assistant Director of
Planning and Inspections
CAMERON RAY

Building Inspector
MARTY SHAW
CHARLES THUMAN

Senior Planner
RYAN LANG

Code Enforcement Officer
JORDAN BLYTHE

**THE TOWN OF KILL DEVIL HILLS
NORTH CAROLINA**

Zoning Administrator
DONNA ELLIOTT

PLANNING DEPARTMENT

May 16, 2023

Memorandum

To: Planning Board

From: Cameron Ray, Assistant Planning Director 

Subject: Zoning Amendment Request – §153.180(C) Commercial Zone Density – Change Density Measurement to Floor Area Ratio (FAR)

Attached is a Zoning Amendment request application from Eddie Goodrich to amend Town Code section 153.180(C). The amendment request is to 153.180(C)(1), density requirements in the Commercial Zoning District for multi-family dwellings, cottage courts, and cluster homes to change the unit of measurement from “units per acre” to “floor area ratio” (FAR). As requested, the maximum FAR would be up to .50 with two exceptions allowing the FAR to be up to 0.55 if side yard setbacks are increased by two feet on each side and up to 0.60 if the side yard buffer is increased on each side by two feet. Below is the proposed amendment request to 153.180(C)(1);

§ 153.180 SITE REQUIREMENT.

(C) *Density.*

(1) Multi-family dwellings, cottage courts, or cluster homes: ~~18 units per acre.~~ The maximum floor area ratio (FAR) shall be up to 0.50, exceptions described above in division (D) below.

(2) Hotel and motel: For any hotel/motel development, the maximum floor area ratio (FAR) shall be up to 0.50; exceptions described in division (D) below.

(D) *Exceptions.*

(1) Where a lot or parcel of land has an area of less than the above required minimum area and was of record on June 14, 1983, such lot may be occupied by one family, provided the minimum side, front and rear requirements are complied with as set forth in § 153.181;

(2) Per division (C)(2) above, increase minimum required side yard setbacks by two feet on each side, the FAR shall be up to 0.55; and

(3) Per division (C)(2) above, increase minimum required side yard buffer as set forth in § 153.184 by two feet on each side and items in division (C) above the FAR shall be up to 0.60.

Staff recommends forwarding the amendment to 153.180(C)(1) Commercial Zone Density Requirements, to change the density measurement to “Floor Area Ratio” as presented above with attached consistency statement to the Board of Commissioners with a favorable recommendation.

PLANNING BOARD REPORT

Per NCGS 160D-604(b), Zoning Amendments. – Subsequent to initial adoption of a zoning regulation, all proposed amendments to the zoning regulation or zoning map shall be submitted to the planning board for review and comment. If no written report is received from the planning board within 30 days of referral of the amendment to that board, the governing board may act on the amendment without the planning board report. The governing board is not bound by the recommendations, if any, of the planning board.

Per NCGS 160D-604(d), Plan Consistency – When conducting a review of proposed zoning text or map amendments pursuant to this section, the planning board shall advise and comment on whether the proposed action is consistent with any comprehensive plan that has been adopted and any other officially adopted plan that is applicable. The planning board shall provide a written recommendation to the governing board that addresses plan consistency and other matters as deemed appropriate by the planning board, but a comment by the planning board that a proposed amendment is inconsistent with the comprehensive plan shall not preclude consideration or approval of the proposed amendment by the governing board. If a zoning map amendment qualifies as a "large-scale rezoning" under G.S. 160D-602(b), the planning board statement describing plan consistency may address the overall rezoning and describe how the analysis and policies in the relevant adopted plans were considered in the recommendation made.

PLANNING BOARD RECOMMENDATIONS

Proposed Amendment Title: Proposed Zoning Amendment—§153.180(C) Commercial Zone Density – Change Density Measurement to Floor Area Ratio (FAR)

Approval/Denial: Planning Board finds that the Proposed Zoning Amendment §153.180(C) Commercial Zone Density – Change Density Measurement to Floor Area Ratio (FAR) is/is not consistent with the adopted Land Use Plan.

Therefore, the Planning Board finds the proposed amendment is consistent/inconsistent with the objectives and policies contained in the Kill Devil Hills Land Use Plan and/ or other officially adopted plans of the Town that are applicable.

This report reflects the recommendation of the Planning Board with a vote of ____to____, this the Sixteenth day of May, 2023.

Attest:

Planning Board Chairman

Secretary of Planning Board



PAID

APR 12 2023

TOWN OF KILL DEVIL HILLS

Town of Kill Devil Hills Planning and Inspections
252-449-5318

NON-REFUNDABLE FEES

Date: 4/12/23

- Board of Adjustments
- CAMA
- Copies
- Text Amendment
- Other: _____
- Exempt plat/Subdivision
- Fines and/or Re-Inspection Fee
- Site Plan Review
- Permit Re-instatement

Amount: \$500.00

Received From: Eddie Goodrich

Description:

Text admendment Chapter153.180 multi family floor area ratio density

Received by: Ryan Lang



Kill Devil Hills

North Carolina

CODE AMENDMENT APPLICATION

Planning and Inspections Department

(252) 449 – 5318

102 Town Hall Drive

Kill Devil Hills, NC 27948

FEE: \$500.00

The purpose of this application is to *request* a code amendment, or a permanent alteration, to the Kill Devil Hills Town Code.

Required attachments/submittals for an application for a code amendment:

- 1.) A completed application
- 2.) One copy of the code in question (existing Kill Devil Hills Town Code)
- 3.) One copy of your proposed code amendment, with the proposed changes highlighted
- 4.) Application Fee, *which is nonrefundable*

*****Important:** If any of the above requirements are not present at the time of submittal, the application will be deemed incomplete and will not be accepted.***

Certification:

I (we) hereby acknowledge and say that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the Town of Kill Devil Hills Planning and Inspections Department.

Petitioner's Name (Please Print): George E. Goodrich

Petitioner's Signature: George E. Goodrich Date: 4-11-23

For Staff Use Only:

Fee Received by: Ru

Date: 4/12/23



Town of Kill Devil Hills
North Carolina

Application for a Code Amendment

(Please Type or Print)

Petitioner

Name:

The Woods at Kitty Hawk, LLC

Address: P.O. Box 3629

Kill Devil Hills, NC 27948

Telephone Number:

252-475-0874

Email:

eddieg@vrobx.com

Agent for Petitioner (If Applicable)

Name:

Eddie Goodrich

Address: P.O. Box 3629

Kill Devil Hills, NC 27948

Telephone Number:

252-475-0874

Email:

eddieg@vrobx.com

I hereby request an amendment to the following specific section of the Town Code:

Chapter: 153 Code: 180

Title: Site Requirements

To this application, attach:

- One copy of the code in question (existing Kill Devil Hills Town Code)
- One copy of your proposed code amendment, with the proposed changes highlighted



Town of Kill Devil Hills
North Carolina

Application for a Code Amendment

1. Please provide a **detailed** justification for the proposed amendment (*attach additional pages as needed*):

The proposed amendment will replace an antiquated method of calculating multifamily density from units per acre to Floor Area Ratio, the method currently used in calculating and controlling hotel density in the Commercial Zone.

2. How does this proposed amendment help to promote the public health, safety, and general welfare? (*attach additional pages as needed*)

The proposed amendment is a more definite and accurate method of measuring and controlling multifamily density in the Commercial Zone.

§ 153.180 SITE REQUIREMENT.

(A) *Lot dimensions.* All parcels shall have a minimum width of 50 feet.

(B) *Lot area.*

(1) The minimum building site shall be 15,000 square feet.

(2) The minimum building site for a duplex shall be 15,000 square feet.

(3) Exempt recombination plats for lots platted prior to June 14, 1983 shall have a minimum lot size of 7,500 square feet.

(C) *Density.*

(1) **Multi-family dwelling: 18 units per acre.**

(2) Hotel and motel: For any hotel/motel development, the maximum floor area ratio (FAR) shall be up to 0.50; exceptions described in division (D) below.

(D) *Exceptions.*

(1) Where a lot or parcel of land has an area of less than the above required minimum area and was of record on June 14, 1983, such lot may be occupied by one family, provided the minimum side, front and rear requirements are complied with as set forth in § 153.181;

(2) Per division (C)(2) above, increase minimum required side yard setbacks by two feet on each side, the FAR shall be up to 0.55; and

(3) Per division (C)(2) above, increase minimum required side yard buffer as set forth in § 153.184 by two feet on each side and items in division (C) above the FAR shall be up to 0.60.

(E) *Lot coverage.*

(1) Maximum allowable lot coverage by principal use, all accessory structures, vehicular circulation areas and parking - 65%. (For exceptions, see § 153.082(D).)

(2) Soils classified as wetlands shall be factored into lot coverage calculation based on the following schedule:

(a) If the lot is composed of less than 25% of its total area in wetland soils, then 75% of that area classified as wetlands may be used in calculating lot coverage;

(b) If the lot has between 25% to 50% of its total area in wetland soils, then 50% of that area classified as wetlands may be used in calculating lot coverage;

(c) If the lot has between 50% to 75% of its total area in soils classified as wetlands, then 25% of that area classified as wetlands may be used in calculating lot coverage;

(d) If the lot has 75% or more of its total area classified as wetlands, none of that area classified as wetlands may be used in calculating lot coverage.

(3) *Permeable pavement lot coverage calculations:*

(a) For lots greater than five acres, the use of permeable paving systems, including porous concrete, porous asphalt, concrete grid pavers and permeable interlocking concrete pavers, for parking spaces, drive aisles and vehicular circulations areas, a reduction in the calculated lot coverage shall be allowed. All permeable paving systems shall comply with the criteria of the North Carolina Division of Water Quality Stormwater Best Management Practices Manual (current edition). The following calculated reductions are allowed.

1. Porous concrete without washed stone base - 40% reduction.
2. Porous concrete with at least six inches of washed stone base - 60% reduction.
3. Porous asphalt, concrete grid pavers and permeable interlocking concrete pavers with at least four inches of washed stone base - 40% reduction.
4. Porous asphalt, concrete grid pavers and permeable interlocking concrete pavers with at least seven inches of washed stone base - 60% reduction.

(b) For lots less than five acres, the use of permeable paving systems, including porous concrete, porous asphalt, concrete grid pavers, permeable interlocking concrete pavers, and plastic reinforcing grids for parking spaces, drive aisles and vehicular circulation areas, a reduction in the calculated lot coverage shall be allowed. Plastic reinforcing grids shall be limited to low-intensity applications with low traffic speeds. Examples include, but are not limited to, parking stalls in commercial parking lots, overflow parking areas, utility access, emergency vehicle and fire access lanes, and loading areas. Material to fill the open cells of the pavement system types shall consist of open graded fine aggregate, open graded washed aggregate, sod turf grasses native to the southeast coastal environment and exhibit medium to high permeability rates. All permeable paving systems shall comply with the criteria of the North Carolina Division of Water Quality Stormwater Best Management Practices Manual (current edition). The following calculated reductions are allowed:

1. Porous concrete without washed stone base - 40% reduction.
2. Porous concrete with at least six inches of washed stone base - 60% reduction.
3. Porous asphalt, concrete grid pavers, permeable interlocking concrete pavers, and plastic reinforcing grids with at least four inches of washed stone base - 40% reduction.
4. Porous asphalt, concrete grid pavers, permeable interlocking concrete pavers and plastic reinforcing grids with at least seven inches of washed stone base - 60% reduction.
5. The pavement section shall consist of the surface course or layer for infiltration, a bedding course (as required), a woven geotextile fabric layer, and aggregate storage layer, and a woven geotextile fabric layer to prevent clogging.
6. Edge restraints shall be provided on all concrete grid pavers, permeable interlocking concrete pavers, and plastic reinforcing grid installations to confine the pavement installation. The pavement surface course structural properties shall be designed to withstand the applied vehicular loading pursuant to the specified application.

(c) In no case shall the total area that is occupied and obstructed by any structure above the ground, including but not limited to parking and drive areas, exceed 75% of the area of the lot.

(F) *Drainage/stormwater runoff.* All development is required to follow the provisions of § 153.070.

(G) *Land disturbance.* See § 153.071.

(Ord. 91-08, passed 11-18-91; Am. Ord. 01-02, passed 2-28-01; Am. Ord. 04-10, passed 5-26-04; Am. Ord. 05-12, passed 8-8-05; Am. Ord. 10-13, passed 7-12-10; Am. Ord. 11-09, passed 5-25-11; Am. Ord. 15-16, passed 5-16-16 ; Am. Ord. 17-29, passed 3-8-21 ; Am. Ord. 18-4, passed 6-14-21)

§ 153.180 SITE REQUIREMENT.

(A) *Lot dimensions.* All parcels shall have a minimum width of 50 feet.

(B) *Lot area.*

(1) The minimum building site shall be 15,000 square feet.

(2) The minimum building site for a duplex shall be 15,000 square feet.

(3) Exempt recombination plats for lots platted prior to June 14, 1983 shall have a minimum lot size of 7,500 square feet.

(C) *Density.*

(1) Multi-family dwelling: the maximum floor area ratio (FAR) shall be up to 0.50; exceptions described in division (D) below.

(2) Hotel and motel: For any hotel/motel development, the maximum floor area ratio (FAR) shall be up to 0.50; exceptions described in division (D) below.

(D) *Exceptions.*

(1) Where a lot or parcel of land has an area of less than the above required minimum area and was of record on June 14, 1983, such lot may be occupied by one family, provided the minimum side, front and rear requirements are complied with as set forth in § 153.181;

(2) Per division (C)(2) above, increase minimum required side yard setbacks by two feet on each side, the FAR shall be up to 0.55; and

(3) Per division (C)(2) above, increase minimum required side yard buffer as set forth in § 153.184 by two feet on each side and items in division (C) above the FAR shall be up to 0.60.

(E) *Lot coverage.*

(1) Maximum allowable lot coverage by principal use, all accessory structures, vehicular circulation areas and parking - 65%. (For exceptions, see § 153.082(D).)

(2) Soils classified as wetlands shall be factored into lot coverage calculation based on the following schedule:

(a) If the lot is composed of less than 25% of its total area in wetland soils, then 75% of that area classified as wetlands may be used in calculating lot coverage;

(b) If the lot has between 25% to 50% of its total area in wetland soils, then 50% of that area classified as wetlands may be used in calculating lot coverage;

(c) If the lot has between 50% to 75% of its total area in soils classified as wetlands, then 25% of that area classified as wetlands may be used in calculating lot coverage;

(d) If the lot has 75% or more of its total area classified as wetlands, none of that area classified as wetlands may be used in calculating lot coverage.

(3) *Permeable pavement lot coverage calculations:*

(a) For lots greater than five acres, the use of permeable paving systems, including porous concrete, porous asphalt, concrete grid pavers and permeable interlocking concrete pavers, for parking spaces, drive aisles and vehicular circulations areas, a reduction in the calculated lot coverage shall be allowed. All permeable paving systems shall comply with the criteria of the North Carolina Division of Water Quality Stormwater Best Management Practices Manual (current edition).

1. Porous concrete without washed stone base - 40% reduction.
2. Porous concrete with at least six inches of washed stone base - 60% reduction.
3. Porous asphalt, concrete grid pavers and permeable interlocking concrete pavers with at least four inches of washed stone base - 40% reduction.
4. Porous asphalt, concrete grid pavers and permeable interlocking concrete pavers with at least seven inches of washed stone base - 60% reduction.

(b) For lots less than five acres, the use of permeable paving systems, including porous concrete, porous asphalt, concrete grid pavers, permeable interlocking concrete pavers, and plastic reinforcing grids for parking spaces, drive aisles and vehicular circulation areas, a reduction in the calculated lot coverage shall be allowed. Plastic reinforcing grids shall be limited to low-intensity applications with low traffic speeds. Examples include, but are not limited to, parking stalls in commercial parking lots, overflow parking areas, utility access, emergency vehicle and fire access lanes, and loading areas. Material to fill the open cells of the pavement system types shall consist of open graded fine aggregate, open graded washed aggregate, sod turf grasses native to the southeast coastal environment and exhibit medium to high permeability rates. All permeable paving systems shall comply with the criteria of the North Carolina Division of Water Quality Stormwater Best Management Practices Manual (current edition). The following calculated reductions are allowed:

1. Porous concrete without washed stone base - 40% reduction.
2. Porous concrete with at least six inches of washed stone base - 60% reduction.
3. Porous asphalt, concrete grid pavers, permeable interlocking concrete pavers, and plastic reinforcing grids with at least four inches of washed stone base - 40% reduction.
4. Porous asphalt, concrete grid pavers, permeable interlocking concrete pavers and plastic reinforcing grids with at least seven inches of washed stone base - 60% reduction.
5. The pavement section shall consist of the surface course or layer for infiltration, a bedding course (as required), a woven geotextile fabric layer, and aggregate storage layer, and a woven geotextile fabric layer to prevent clogging.
6. Edge restraints shall be provided on all concrete grid pavers, permeable interlocking concrete pavers, and plastic reinforcing grid installations to confine the pavement installation. The pavement surface course structural properties shall be designed to withstand the applied vehicular loading pursuant to the specified application.

(c) In no case shall the total area that is occupied and obstructed by any structure above the ground, including but not limited to parking and drive areas, exceed 75% of the area of the lot.

(F) *Drainage/stormwater runoff.* All development is required to follow the provisions of § 153.070.

(G) *Land disturbance.* See § 153.071.

(Ord. 91-08, passed 11-18-91; Am. Ord. 01-02, passed 2-28-01; Am. Ord. 04-10, passed 5-26-04; Am. Ord. 05-12, passed 8-8-05; Am. Ord. 10-13, passed 7-12-10; Am. Ord. 11-09, passed 5-25-11; Am. Ord. 15-16, passed 5-16-16 ; Am. Ord. 17-29, passed 3-8-21 ; Am. Ord. 18-4, passed 6-14-21)

Ray, Cameron

From: Eddie Goodrich <EddieGoodrich@villagerealtyobx.com>
Sent: Thursday, May 11, 2023 4:25 PM
To: Ray, Cameron
Cc: Lang, Ryan
Subject: RE: Zoning Amendment Request - 153.180(C)(1)

Cameron,

I am fine with the staff's revision and modification of my original text amendment request as written below.
Thank you,
Eddie

From: Ray, Cameron <Cameron@kdhnc.com>
Sent: Thursday, May 11, 2023 11:25 AM
To: Eddie Goodrich <EddieGoodrich@villagerealtyobx.com>
Cc: Lang, Ryan <rlang@kdhnc.com>
Subject: RE: Zoning Amendment Request - 153.180(C)(1)

Eddie,

Please see the revised text amendment that Staff will be recommending to the Planning Board for their review. Please let me know your thoughts. If you are ok with this modification, it will be what is proposed to the Planning Board as your zoning amendment request. If you would like to have your original amendment revised and also only include Multi-Family as a change to FAR, I will be able to assist on that as well.

§ 153.180 SITE REQUIREMENT.

(C) *Density.*

(1) Multi-family dwellings, cottage courts, or cluster homes: ~~18 units per acre.~~ The maximum floor area ratio (FAR) shall be up to 0.50, exceptions described above in division (D) below.

(2) Hotel and motel: For any hotel/motel development, the maximum floor area ratio (FAR) shall be up to 0.50; exceptions described in division (D) below.

(D) *Exceptions.*

(1) Where a lot or parcel of land has an area of less than the above required minimum area and was of record on June 14, 1983, such lot may be occupied by one family, provided the minimum side, front and rear requirements are complied with as set forth in § [153.181](#);

(2) Per division (C)(~~2~~) above, increase minimum required side yard setbacks by two feet on each side, the FAR shall be up to 0.55; and

(3) Per division (C)(~~2~~) above, increase minimum required side yard buffer as set forth in § [153.184](#) by two feet on each side and items in division (C) above the FAR shall be up to 0.60.

Sincerely,

Cameron Ray, CFM, CZO
Assistant Planning Director
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Kill Devil Hills, NC 27948
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252-441-4102 fax
www.kdhnc.com