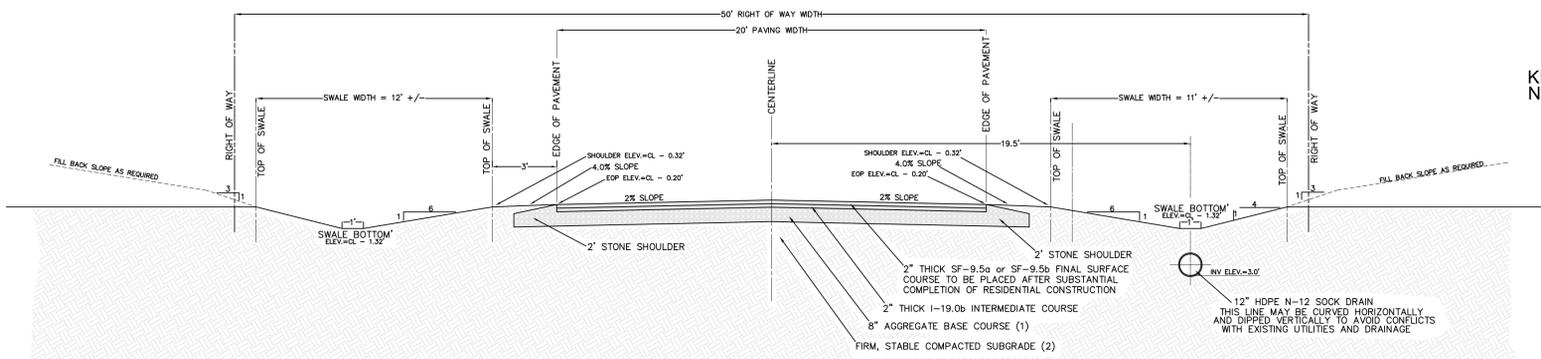
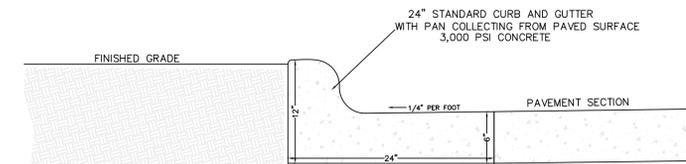


KDH COMMISSIONERS REVIEW PLAN
NOT RELEASED FOR CONSTRUCTION

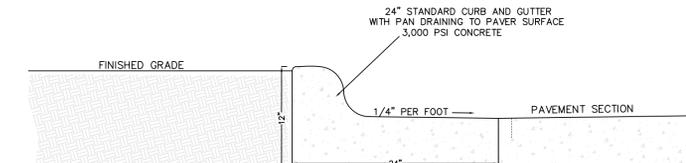


TYPICAL ROADWAY AND SWALE SECTION
NOT TO SCALE

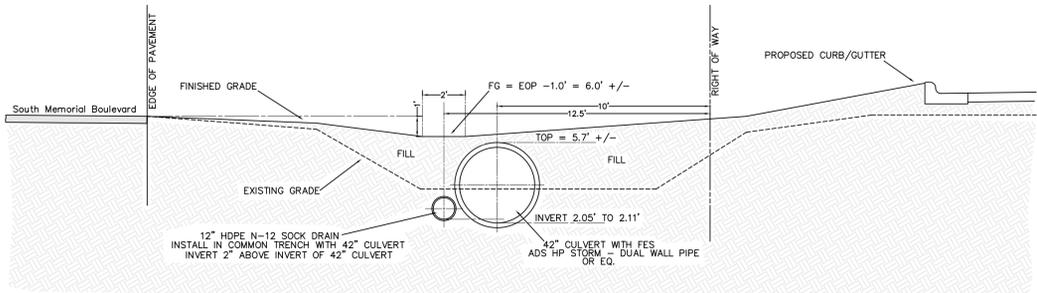
(1) NC DOT ABC materials compacted to a dry density of at least 100% of the Standard Proctor maximum dry density (ASTM D698)
(2) Subgrade soils compacted to a dry density of at least 100% of the Standard Proctor maximum dry density (ASTM D698)



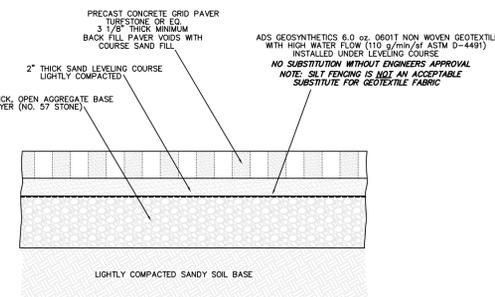
CURB AND GUTTER PAVING SECTION AA
NOT TO SCALE



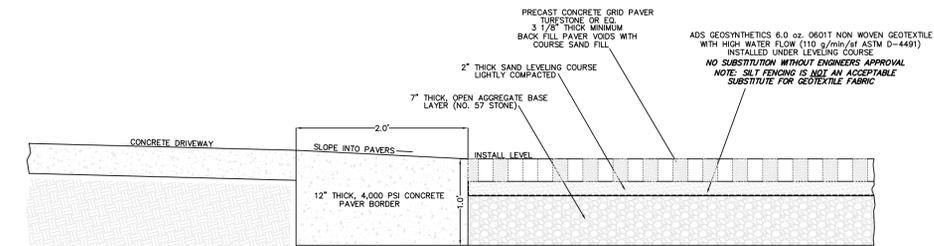
CURB AND GUTTER PAVING SECTION BB
NOT TO SCALE



SOUTH MEMORIAL BLVD. DRAINAGE SECTION
NOT TO SCALE



TURFSTONE/PICP PAVING DETAIL
NOT TO SCALE

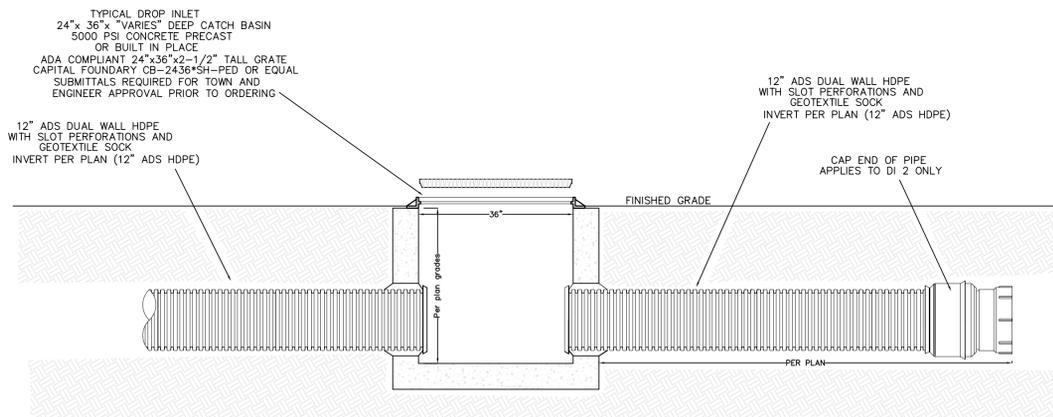


TURFSTONE/PICP PAVING DETAIL - SECTION CC
NOT TO SCALE

The owner and Contractor are reminded that all street and drainage improvements in the Town right of ways will have to be constructed, inspected and tested in accordance with the Town's Technical Specifications which include but are not limited to subsurface geotechnical work, road base & density testing, asphalt paving and core sampling, and drainage work. In addition roadway improvements are to be completed in compliance with the Town of Kill Devil Hills Town Code Chapter 51: Streets and Sidewalks. Excepts outlining specific developer and contractor requirements are listed below. Other relevant sections not listed shall also apply.

CHAPTER 9: STREETS AND SIDEWALKS

- § 91.33 PRELIMINARY PLANS.**
(2) Adjacent property owners shall be notified in accordance with established town administrative procedures, which shall include at minimum by first class mail, at least 30 days prior to commencement of construction.
- § 91.16 IMPROVEMENTS WITHIN THE PUBLIC RIGHTS-OF-WAY.**
(C) Seeding and stabilization; bond requirements. Private developers who apply to construct a new street within a town right-of-way shall post a bond (or cash equivalent) with the Public Services Department for seeding and stabilization of town rights-of-way prior to authorization to construct a new street. The amount of the bond (or cash equivalent) shall be based on a certified seeding and stabilization cost provided by developer and verified by Public Services Department, based on industry standards, plus 15% contingencies. Bonds (or cash equivalent) for seeding and stabilization shall be held for maximum 120 days after the date of Board of Commissioners acceptance of work within a right-of-way.
- § 91.35 REQUIRED IMPROVEMENTS.**
(G) Seeding and stabilization requirements. A private developer shall install seeding and stabilization at least three weeks prior to requesting final inspection of the project. The Public Services Department will inspect the site for compliance with approved plans and determine if permanent ground cover and stabilization has been established or if additional effort is needed.
(1) Approximately 60 days after acceptance by the Board of Commissioners, the Public Services Department will re-inspect the site and determine if permanent ground cover has been achieved. If permanent ground cover has not been accomplished, the developer will be notified of all areas requiring additional work by certified letter.
(2) If within 14 days after receipt of the certified letter the developer does not provide the additional seeding and stabilization required stabilization to accomplish permanent ground cover, the town shall have the right to use funds from the bond (or cash equivalent) to accomplish permanent ground cover.

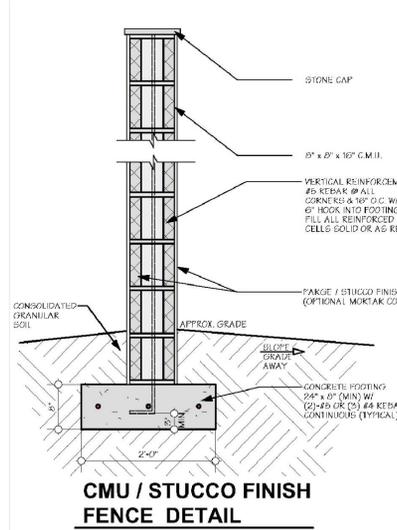


DETAIL - PROPOSED DROP INLET TYPICAL
NOT TO SCALE

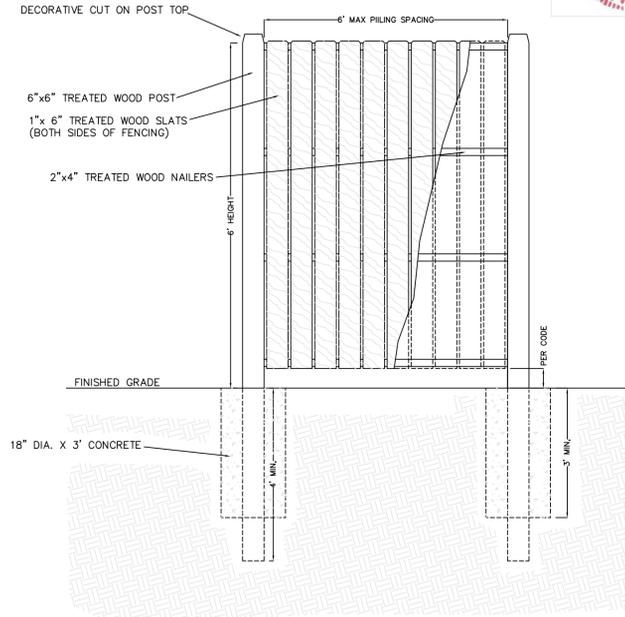


FRONT FENCE - HWY 12

FRONT FENCE - HWY NC 12 DETAIL
REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION



FRONT FENCE - HWY NC 12 DETAIL
NOT TO SCALE



FENCE DETAIL
NOT TO SCALE

MICHAEL W. ROBINSON, P.E., P.L.S.
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P.O. BOX 2852
KILL DEVIL HILLS, NC 27948
PHONE: 252-255-8026
EMAIL: mrobinson@bxbengineering.com

DETAIL PLAN



NO.	DATE	DESCRIPTION	BY	CHK'D BY
1	02-22-22	REV FOR KDH COMMISSIONERS REVIEW	MWR	



PROJECT: OCEAN BREEZE TOWNHOMES
NORTH CAROLINA
KILL DEVIL HILLS DARE COUNTY
902 SOUTH VIRGINIA DARE TRAIL

DATE: 01-31-22 SCALE: 1"=20'
DESIGNED: MWR DRAWN: MWR
SHEET: 4 OF 10
CAD FILE: ocean view cottages-kdh-base.dwg
PROJECT NO: 051121