

**2012 APPENDIX B  
BUILDING CODE SUMMARY  
FOR ALL COMMERCIAL PROJECTS  
(except 1 and 2-family dwellings and townhouses)  
(Reproduce the following data on the building plans sheet 1 or 2)**

# Outer Banks Brewing Station

**cahoon+kasten**  
ARCHITECTS  
118 West Woodhill Drive  
Nags Head, North Carolina 27959  
P. 252.441.0271 F. 252.441.8724  
E. office@obxarchitects.com

Name of Project: Outer Banks Brewing Station  
Address: 600 S Croatan Hwy  
Kill Devil Hills, NC 27948

Proposed Use: A-2 Restaurant  
Owner/Authorized Agent: Aubrey Davis  
Phone # (252) 449-2739 E-Mail thecrew@obbrewing.com  
Owned By:  City/County  Private  State  
Code Enforcement Jurisdiction:  City KDH  County  State

DESIGNER	FIRM	NAME	LIC #	TELEPHONE #	E-MAIL
Architectural	Cahoon + Kasten Architects	Ben Cahoon	5413	252.441.0271	ben@obxarchitects.com
Civil					
Electrical					
Fire Alarm					
Plumbing					
Mechanical					
Sprinkler-Standpipe					
Structural					
Retaining Walls >5h					
Other					

**2012 EDITION OF NC CODE FOR:**  New Construction  Addition  Upfit  
 Reconversion  Alteration  Repair  Renovation  
**EXISTING:**  Reconversion  Alteration  Repair  Renovation  
**CONSTRUCTED: (date)** \_\_\_\_\_ **ORIGINAL USE(S) (Ch. 3):** A-2  
**RENOVATED: (date)** \_\_\_\_\_ **CURRENT USE(S) (Ch. 3):** A-2  
**PROPOSED USE(S) (Ch. 3):** A-2

**BASIC BUILDING DATA**

Construction Type:  I-A  II-A  III-A  IV  V-A  
(check all that apply)  I-B  II-B  III-B  V-B  
Sprinklers:  No  Partial  Yes  NFPA 13  NFPA 13R  NFPA 13D  
Standpipes:  No  Yes  Class 1  II  III  Wet  Dry  
Fire District:  No  Yes (primary)  Flood Hazard Area:  No  Yes  
Building Height: 33.5'  
Gross Building Area:

Floor	Existing (sq. ft.)	New (sq. ft.)	Sub-total
6th Floor			
5th Floor			
4th Floor			
3rd Floor			
2nd Floor			
Mezzanine	1,059 SF		1,059 SF
1st Floor	5,317 SF	551 SF	5,868 SF
Basement			
Total	6,376 SF	551 SF	6,927 SF

**ALLOWABLE AREA**

Occupancy:  A-1  A-2  A-3  A-4  A-5  
Assembly  Business  Educational  Factory  Hazardous  Institutional  I-3 Condition  Mercantile  Residential  Storage  Utility and Miscellaneous  Repair Garage

Accessory Occupancy:  A-1  A-2  A-3  A-4  A-5  
Assembly  Business  Educational  Factory  Hazardous  Institutional  I-3 Condition  Mercantile  Residential  Storage  Utility and Miscellaneous  Repair Garage

**Incidental Uses (Table 508.2.5):**

Furnace room where any piece of equipment is over 400,000 BTU per hour input  
 Rooms with boilers where the largest piece of equipment is over 15 psi and 10 horsepower  
 Refrigerant machine room  
 Hydrogen cutoff rooms, not classified as Group H  
 Incinerator rooms  
 Paint shops, not classified as Group H, located in occupancies other than Group F  
 Laboratories and vocational shops, not classified as Group H, located in a Group E or I-2 occupancy  
 Laundry rooms over 100 square feet  
 Group I-3 cells equipped with padded surfaces  
 Group I-2 waste and linen collection rooms  
 Waste and linen collection rooms over 100 square feet  
 Stationary storage battery systems having a liquid electrolyte capacity of more than 50 gallons, or a lithium-ion capacity of 1,000 pounds used for facility standby power, emergency power or uninterrupted power supplies  
 Rooms containing fire pumps  
 Group I-2 storage rooms over 100 square feet  
 Group I-2 commercial kitchens  
 Group I-2 laundries equal to or less than 100 square feet  
 Group I-2 rooms or spaces that contain fuel-fired heating equipment

**Special Uses:**  402  403  404  405  406  407  408  409  410  411  412  413  414  
 415  416  417  418  419  420  421  422  423  424  425  426  427

**Special Provisions:**  509.2  509.3  509.4  509.5  509.6  509.7  509.8  509.9

**Mixed Occupancy:**  No  Yes Separation: \_\_\_\_\_ Hr. Exception: \_\_\_\_\_  
 Incidental Use Separation (508.2.5)  
This separation is not exempt as a Non-Separated Use (see exceptions).

Non-Separated Use (508.3)  
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

Separated Use (508.4) - See below for area calculations  
For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

STORY NO	DESCRIPTION AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 503.3 AREA	(C) AREA FOR OPEN SPACE INCREASE <sup>1</sup>	(D) AREA FOR SPRINKLER INCREASE <sup>2</sup>	(E) ALLOWABLE AREA OR UNLIMITED <sup>3</sup>	(F) MAXIMUM BUILDING AREA <sup>4</sup>
1	A-2	5,868	6,000				6000

- Frontage area increases from Section 506.2 are computed thus:  
a. Perimeter which fronts a public way or open space having 20 feet minimum width = \_\_\_\_\_ (F)  
b. Total Building Perimeter = \_\_\_\_\_ (P)  
c. Ratio (F/P) = \_\_\_\_\_ (F/P)  
d. W = Minimum width of public way = \_\_\_\_\_ (W)  
e. Percent of frontage increase =  $100 \left[ \frac{F}{P} - 0.25 \right] \times \frac{W}{30} =$  \_\_\_\_\_ (%)
- The sprinkler increase per Section 506.3 is as follows:  
a. Multi-story building Is = 200 percent  
b. Single story building Is = 300 percent
- Unlimited area applicable under conditions of Section 507.
- Maximum Building Area = total number of stories in the building x E (506.4).
- The maximum area of parking garages must comply with Table 406.3.5. The maximum area of air traffic control towers must comply with 412.1.2.

**ALLOWABLE HEIGHT**

Type of Construction	ALLOWABLE (Table 503)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
Type of Construction	Type <u>VB</u>		Type <u>VB</u>	
Building Height in Feet	Feet <u>40'</u>	Feet = H + 20' = _____	<u>33.5' ±</u>	
Building Height in Stories	Stories <u>1</u>	Stories + 1 = _____	Stories <u>1</u>	

**FIRE PROTECTION REQUIREMENTS**

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (feet)	RATING		DETAIL# and SHEET#	DESIGN# for RATED ASSEMBLY	DESIGN# for RATED PENETRATION	DESIGN# for RATED JOINTS
		Req'd	Provided (w/ Reduction)				
Structural frame, including columns, girders, trusses	0						
Bearing walls							
Exterior	0						
North	0						
East	0						
West	0						
South	0						
Interior	0						
Nonbearing walls and partitions							
Exterior	0						
North	0						
East	0						
West	0						
South	0						
Interior	0						
Floor construction including supporting beams and joists	0						
Roof construction including supporting beams and joists	0						
Shafts - Exit							
Shafts - Other							
Corridor Separation							
Occupancy Separation							
Party/Fire Wall Separation							
Smoke Barrier Separation							
Tenant Separation							
Incidental Use Separation							

\* Indicate section number permitting reduction

**LIFE SAFETY SYSTEM REQUIREMENTS ADDITION ONLY**

Emergency Lighting:  No  Yes  
Exit Signs:  No  Yes  
Fire Alarm:  No  Yes  
Smoke Detection Systems:  No  Yes  Partial \_\_\_\_\_  
Panic Hardware:  No  Yes

**LIFE SAFETY PLAN REQUIREMENTS**

Life Safety Plan Sheet #: \_\_\_\_\_

Fire and/or smoke rated wall locations (Chapter 7)  
 Assumed and real property line locations  
 Exterior wall opening area with respect to distance to assumed property lines (705.8)  
 Existing structures within 30' of the proposed building  
 Occupancy types for each area as it relates to occupant load calculations (Table 1004.1.1)  
 Occupant loads for each area  
 Exit access travel distances (1016)  
 Common path of travel distances (1014.3 & 1028.8)  
 Dead end lengths (1018.4)  
 Clear exit widths for each exit door  
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.1)  
 Actual occupant load for each exit door  
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation  
 Location of doors with panic hardware (1008.1.10)  
 Location of doors with delayed egress locks and the amount of delay (1008.1.9.7)  
 Location of doors with electromagnetic egress locks (1008.1.9.7)  
 Location of doors equipped with hold open devices  
 Location of emergency escape windows (1029)  
 The square footage of each fire area (902)  
 The square footage of each smoke compartment (407.4)  
 Note any code exceptions or table notes that may have been utilized regarding the items above

**ACCESSIBLE DWELLING UNITS (SECTION 1106) N/A**

Total Units	Accessible Units Required	Accessible Units Provided	Type A Units Required	Type A Units Provided	Type B Units Required	Type B Units Provided	Total Accessible Units Provided

**ACCESSIBLE PARKING (SECTION 1106) NO CHANGE**

Lot or Parking Area	Total # of Parking Spaces		# of Accessible Spaces Provided			Total # Accessible Provided
	Required	Provided	Regular With 5' Access Aisle	132" Access Aisle	8' Access Aisle	
Total						

**STRUCTURAL DESIGN ADDITION ONLY**

**DESIGN LOADS:**

**Importance Factors:** Wind (I<sub>w</sub>) 1.0  
Snow (I<sub>s</sub>) 1.0  
Seismic (I<sub>e</sub>) 1.0

**Live Loads:** Roof 20 psf  
Mezzanine 20 psf  
Floor 100 psf

**Ground Snow Load:** 10 psf

**Wind Loads:** Basic Wind Speed 130 mph (ASCE-7)  
Exposure Category C  
Wind Base Shears (for MWFRS) C V<sub>x</sub> = \_\_\_\_\_ V<sub>y</sub> = \_\_\_\_\_

**SEISMIC DESIGN CATEGORY**  A  B  C  D

Provide the following Seismic Design Parameters:  
Occupancy Category (Table 1604.5)  I  II  III  IV  
Spectral Response Acceleration S<sub>s</sub> \_\_\_\_\_ %g S<sub>i</sub> \_\_\_\_\_ %g  
Site Classification (Table 1613.5.2)  A  B  C  D  E  F  
 Field Test  Presumptive  Historical Data

**Basic structural system (check one)**  
 Bearing Wall  Dual w/Special Moment Frame  
 Building Frame  Dual w/Intermediate R/C or Special Steel  
 Moment Frame  Inverted Pendulum

**Seismic base shear:** V<sub>x</sub> = \_\_\_\_\_ V<sub>y</sub> = \_\_\_\_\_  
**Analysis Procedure:**  Simplified  Equivalent Lateral Force  Dynamic  
**Architectural, Mechanical, Components anchored?**  Yes  No

**LATERAL DESIGN CONTROL:** Earthquake  Wind

**SOIL BEARING CAPACITIES:**  
Field Test (provide copy of test report) \_\_\_\_\_ psf  
Presumptive Bearing capacity 1,500 psf  
Pile size, type, and capacity \_\_\_\_\_

**SPECIAL INSPECTIONS REQUIRED:**  Yes  No

**PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)**

Use	Waterclosets		Urinals	Lavatories		Showers/Tubs	Drinking Fountains	
	Male	Female		Male	Female		Regular	Accessible
Existing	2	5	2	3	4		0	0
New	1*			1*				
Required	3	3	2	3	3		0	0

\* UNISEX

**SPECIAL APPROVALS**

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

**ENERGY SUMMARY N/A NO CHANGE TO EXISTING**

**ENERGY REQUIREMENTS:**  
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs the annual energy cost for the proposed design.

**Climate Zone**  3  4  5

**Method of Compliance**  
 Prescriptive (Energy Code)  
 Performance (Energy Code)  
 Prescriptive (ASHRAE 90.1)  
 Performance (ASHRAE 90.1)

**THERMAL ENVELOPE**

**Roof/ceiling Assembly (each assembly)**  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Skylights in each assembly: \_\_\_\_\_  
U-Value of skylights: \_\_\_\_\_  
total s.f. of skylights in each assembly: \_\_\_\_\_

**Exterior Walls (each assembly)**  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Openings (windows or doors with glazing)  
U-Value of assembly: \_\_\_\_\_  
Solar heat gain coefficient: \_\_\_\_\_  
Projection factor: \_\_\_\_\_  
Door R-Values: \_\_\_\_\_

**Walls below grade (each assembly)**  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_

**Floors over unconditioned space (each assembly)**  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_

**Floors slab on grade**  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Horizontal/vertical requirement: \_\_\_\_\_  
slab heated: \_\_\_\_\_

**MECHANICAL SUMMARY N/A**

**MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT**

**Thermal Zone**  
winter dry bulb: \_\_\_\_\_  
summer dry bulb: \_\_\_\_\_

**Interior design conditions**  
winter dry bulb: \_\_\_\_\_  
summer dry bulb: \_\_\_\_\_  
relative humidity: \_\_\_\_\_

**Building heating load:** \_\_\_\_\_

**Building cooling load:** \_\_\_\_\_

**Mechanical Spacing Conditioning System**  
Unitary description of unit: \_\_\_\_\_  
heating efficiency: \_\_\_\_\_  
cooling efficiency: \_\_\_\_\_  
size category of unit: \_\_\_\_\_  
Boiler Size category, if oversized, state reason: \_\_\_\_\_  
Chiller Size category, if oversized, state reason: \_\_\_\_\_

**List equipment efficiencies:** \_\_\_\_\_

**ELECTRICAL SUMMARY**

**ELECTRICAL SYSTEM AND EQUIPMENT**

**Method of Compliance:**  
Energy Code:  Prescriptive  Performance  
ASHRAE 90.1:  Prescriptive  Performance

**Lighting schedule:** (each fixture type)  
lamp type required in fixture  LED  
number of lamps in fixture (1) \_\_\_\_\_  
ballast type used in the fixture  N/A  
number of ballasts in fixture  N/A  
total wattage per fixture  15  
total interior wattage specified vs. allowed (whole building or space by space) \_\_\_\_\_  
total exterior wattage specified vs. allowed  120W VS 550W

**Additional Prescriptive Compliance**  
 506.2.1 More Efficient Mechanical Equipment  
 506.2.2 Reduced Lighting Power Density  
 506.2.3 Energy Recovery Ventilation Systems  
 506.2.4 Higher Efficiency Service Water Heating  
 506.2.5 On Site Supply of Renewable Energy  
 506.2.6 Automatic Daylighting Control Systems

Project: **Outer Banks Brewing Station**  
Project No: **18039**  
Location: **600 S Croatan Hwy  
Kill Devil Hills, NC 27948**  
Title: **Appendix B**  
Date: **December 14, 2018**  
Scale: \_\_\_\_\_

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



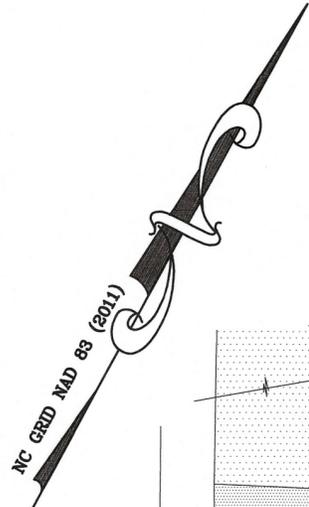
12/14/18

Revisions:

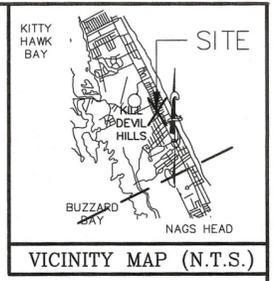
No.	Description	Date

12/14/2018 4:56:28 AM  
Designed: BBC  
Drawn: JPB  
Reviewed: \_\_\_\_\_  
Cad File: \_\_\_\_\_

**A001**



- LEGEND:**
- ⊙ Ex. Rebar
  - ⊙ Ex. CM
  - ⊙ Ex. OP
  - ⊙ USC&G Control Monument
  - ⊙ Ex. Pk Nail
  - ⊙ Fence
  - ⊙ Power Pole
  - ⊙ Lamp Post
  - ⊙ Monitoring Well
  - ⊙ Transformer
  - ⊙ Flood Light
  - ⊙ Panel
  - ⊙ Hand-Cap Parking Sign



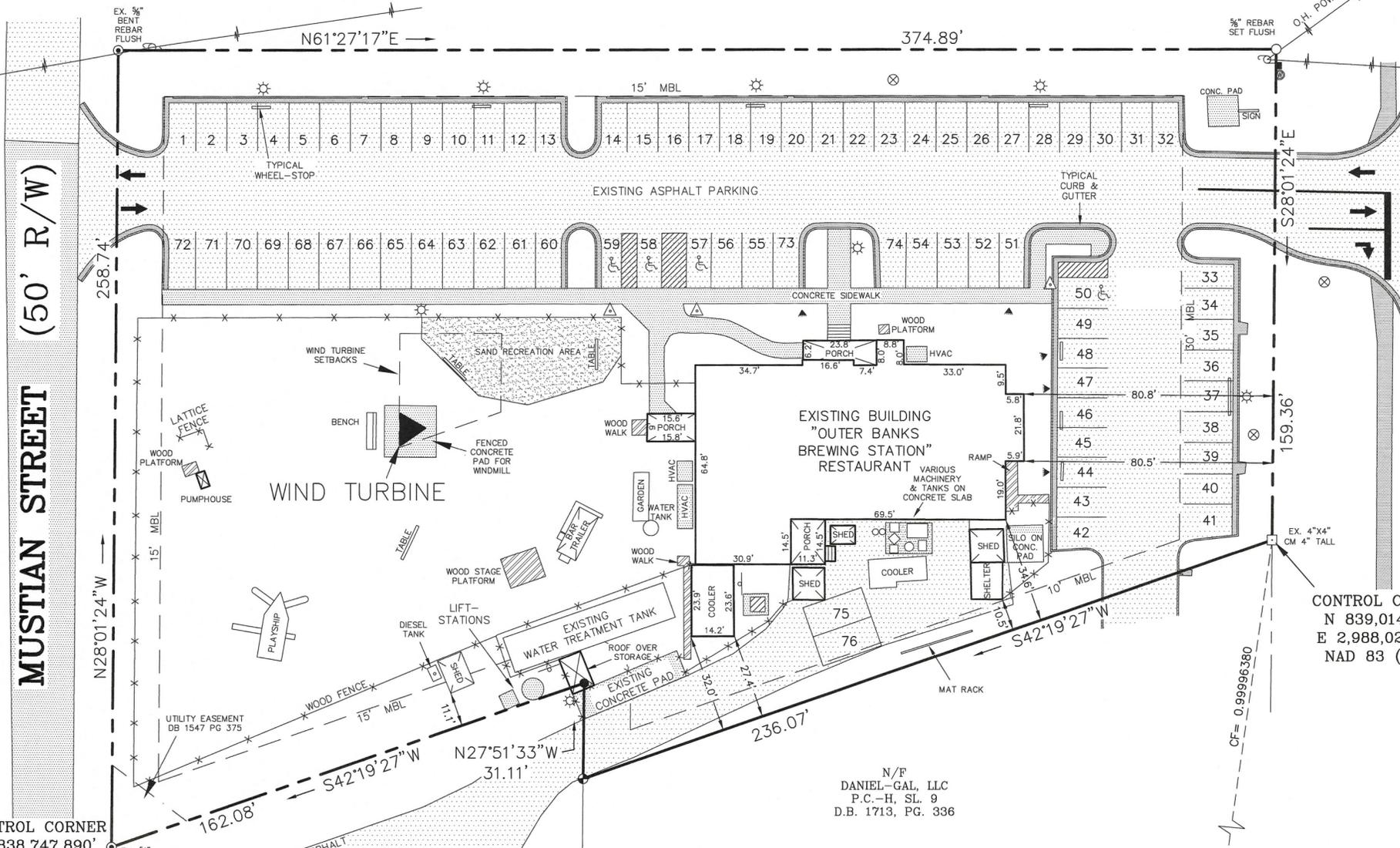
**GODDARD AVENUE (60' UNIMPROVED R/W)**

**MUSTIAN STREET (50' R/W)**

**CROATAN HIGHWAY (150' R/W)**

**BLUE JAY STREET (50' R/W)**

**HILLSIDE DRIVE (60' R/W)**



**NOTES:**

Owner: Outer Banks Brewing, LLC  
 PO Box 2584  
 Kill Devil Hills, NC 27948

Address: 600 South Croatan Highway  
 Lot Area = 79,450 Sq. Ft. / 1.82 Acres

Existing  
 Lot Coverage = 41,888 Sq. Ft. (52.7%)

Flood Zones are subject to change

Zoning: Commercial

Setbacks shown are as per the Town of Kill Devil Hills Zoning; they do not reflect any Restrictive Covenants that may exist. They must be verified by the Town prior to any planning or construction.

This survey was based on the existing property corners found in conjunction with the recorded reference given.

Certifier hereon is not responsible for utilities and/or features that are not visible at the time of the survey, nor any additional setbacks that are not shown.

CONTROL CORNER  
 N 839,014.755'  
 E 2,988,028.847'  
 NAD 83 (2011)

N/F  
 DANIEL-GAL, LLC  
 P.C.-H, SL. 9  
 D.B. 1713, PG. 336

I, M. DOUGLAS STYONS, JR., P.L.S., certify that this plat was drawn from an actual field land survey that the error of closure as calculated by latitudes and departures is at least 1:10,000; the horizontal positional accuracy of the GNSS points is 0.03'

Witness my hand and seal this 25th day of September A.D. 2018

P.L.S. *[Signature]* L-3227

- 1.) Class of Survey: Suburban
- 2.) Positional Accuracy: 0.03' Horizontal
- 3.) Type of GPS Field Procedure: VRS NETWORK
- 4.) Dates of Survey: 1-25-13
- 5.) Datum/Epoch: NAD 83/2011
- 6.) Published/Fixed Control Used: USC&G R 168 1963
- 7.) Geoid Model: 2012
- 8.) Units: Survey Feet



USC&G STATION  
 R 168 1963  
 N 836,169.56'  
 E 2,989,530.17'  
 NAD 83 (2011)

**Styons Surveying Services**

2700 N. Croatan Hwy. Kill Devil Hills, NC. 27948 C-1697  
 Phone: (252) 441-1415 Fax: (252) 480-1182

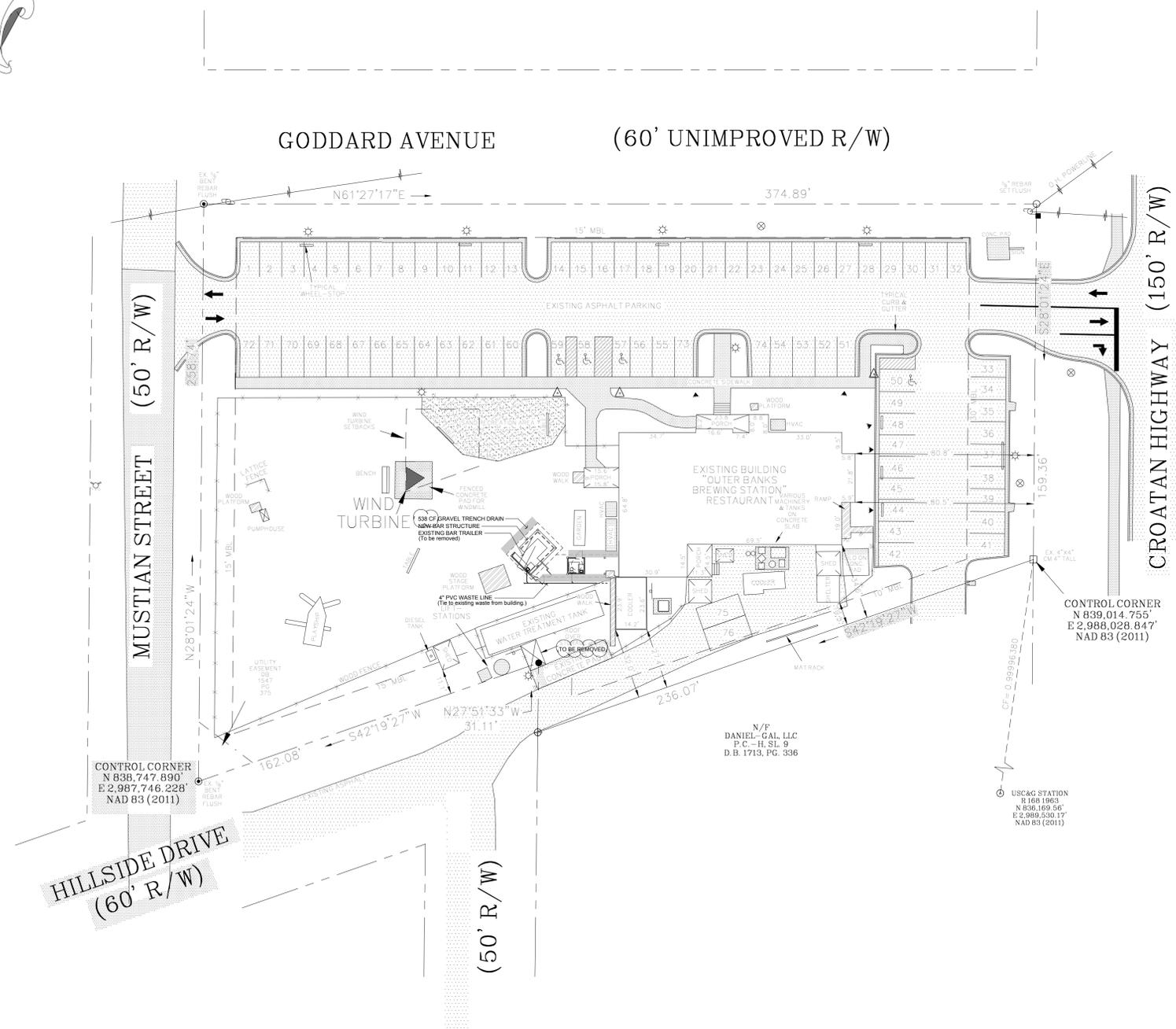
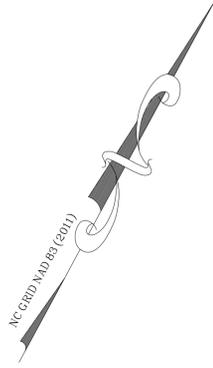
PARCEL @ 600 S. CROATAN HIGHWAY

SCALE: 1" = 30'	SURVEYED FOR		
FILE NO.: 13-012	OUTER BANKS BREWING, LLC		
DWG NO.: 13012P2	ATLANTIC TOWNSHIP KILL DEVIL HILLS	DARE COUNTY NORTH CAROLINA	
FLOOD ZONE: AE (9.0')	DATE: 9-20-18	REC. REF. P.C.-H,SL.9, MB-1,PG126 D.B. 309, PG. 296-297; NAD 83	SHEET: 1 OF 1
	PIN NO.: 07988308799003	F.I.R.M.: 3720 9883 00 J	F.I.R.M. DATE: 9-20-06

GRAPHIC SCALE



( IN FEET )  
 1 inch = 30 ft.



**NOTES:**

1. THE SITE PLAN IS BASED ON AN 'AS-BUILT' SURVEY BY SEABARD SURVEYING & PLANNING, INC. DATED 1-28-18.
2. LOT OWNER: OUTER BANKS BREWING, LLC, 1000 S. HILLTOP DRIVE, WELLSVILLE, NC 27488.
3. PROPERTY: PLOT # 00000000, PARCEL # 00000000, WELLSVILLE, NC 27488.
4. RECORDS REFERENCE: 800 SOUTH CROATAN HIGHWAY, WELLSVILLE, NC 27488. DEED DATE: 02/28/2004. SURV. VARIANCE.
5. ZONE: S1-COMMERCIAL.
6. THE OUTDOOR DINING ACTIVITY AREA SHALL HAVE NO SCHEDULED EVENTS BEFORE 7:00AM OR AFTER 11:00PM.
7. THE OUTDOOR DINING ACTIVITY AREA SHALL BE PROVIDED IN THE OUTDOOR DINING ACTIVITY AREA DESCRIPTION.
8. THE OUTDOOR DINING ACTIVITY AREA SHALL BE PROVIDED IN THE OUTDOOR DINING ACTIVITY AREA DESCRIPTION.
9. RESTAURANT USE SHALL BE PERMITTED FROM THE 15TH TO THE 16TH OF THE MONTH FOR THE PURPOSES OF ALL EMPLOYMENT.
10. THE AREA SHALL BE TREATED AS AN EXTENSION OF THE RESTAURANT FOR THE PURPOSES OF ALL EMPLOYMENT.
11. THE AREA SHALL BE TREATED AS AN EXTENSION OF THE RESTAURANT FOR THE PURPOSES OF ALL EMPLOYMENT.
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20. THE AREA SHALL BE TREATED AS AN EXTENSION OF THE RESTAURANT FOR THE PURPOSES OF ALL EMPLOYMENT.

**LEGEND:**

- Ex. Rebar
- Rebar Set
- Ex. CM
- Ex. CP
- ⊕ US&G Control Monument
- ⊕ Ex. Pk Nail
- ⊕ Fence
- ⊕ Power Pole
- ⊕ Lamp Post
- ⊕ Monitoring Well
- ⊕ Floodformer
- ⊕ Flood Light
- ⊕ Panel
- ⊕ Hand-Cap Parking Sign

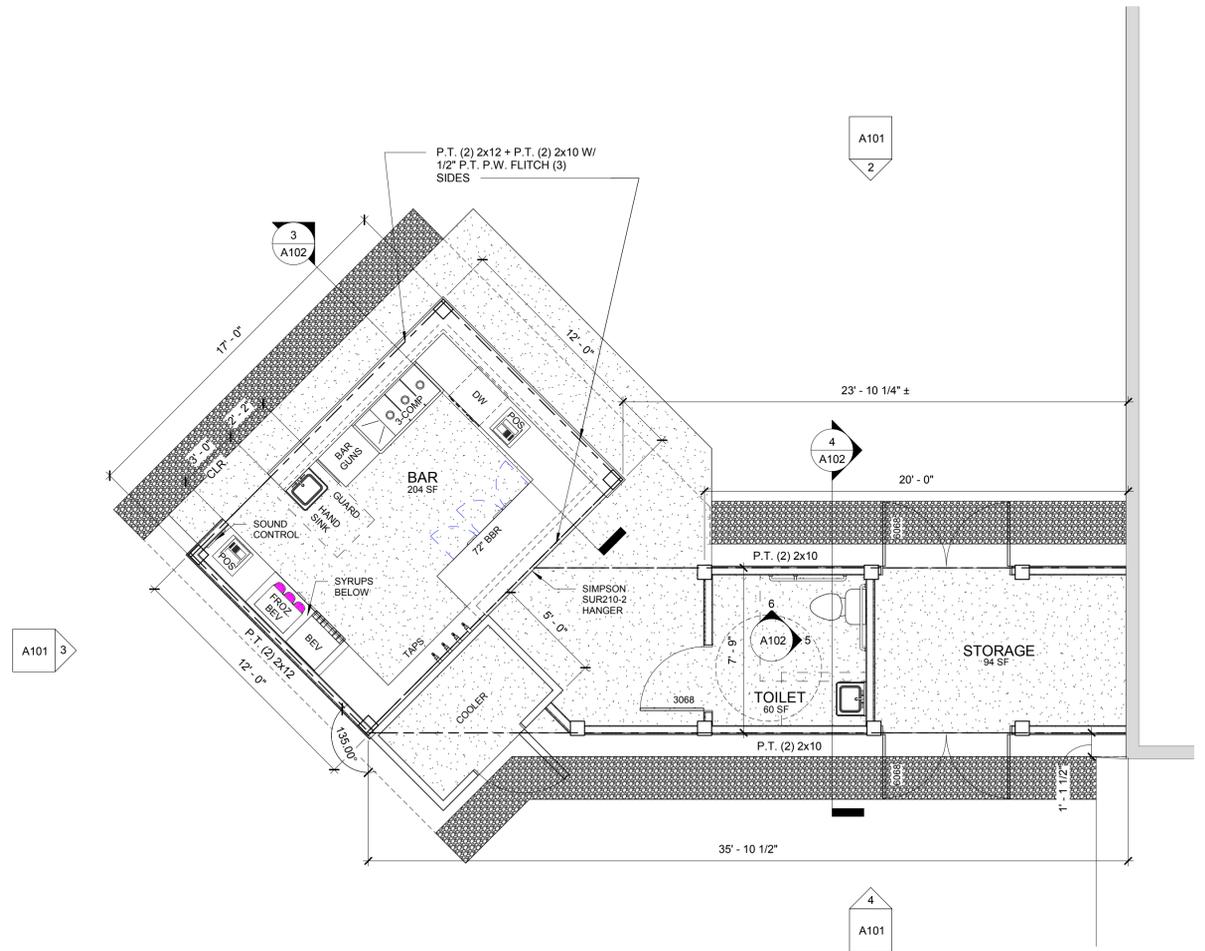
EXISTING LOT COVERAGE: 41,888 SF 52.7%  
 PROPOSED LOT COVERAGE: 42,488 SF 53.5%

USE	FLOOR AREA (PARKING RATIO)	REQUIRED SPACES
RESTAURANT	5,872	1 SPACE/100 SF
BREWERY	1,458	1 SPACE/200 SF
TOTAL		73

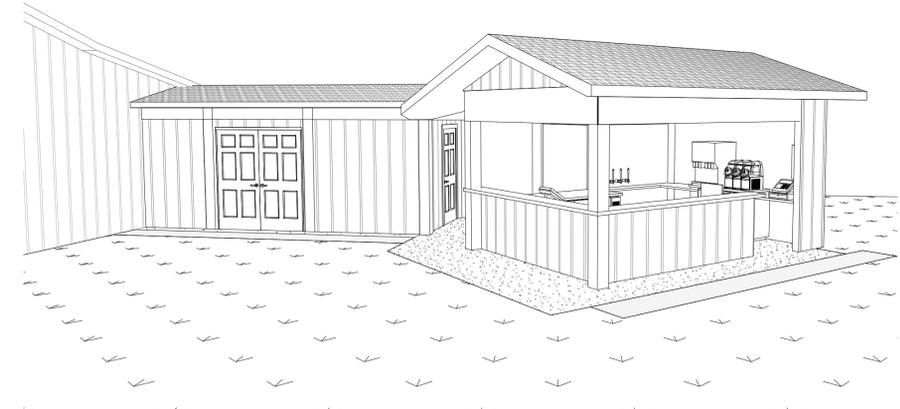
STORMWATER CALCULATIONS  
 800 SF ROOF AREA x 4.314 FT. DESIGN STORM DEPTH = 345 CF REQUIRED RETENTION  
 USING GRAVEL WITH 40% VOID RATIO, 215 CFI/40 = 538 CF REQUIRED TRENCH VOLUME

**GRAPHIC SCALE**

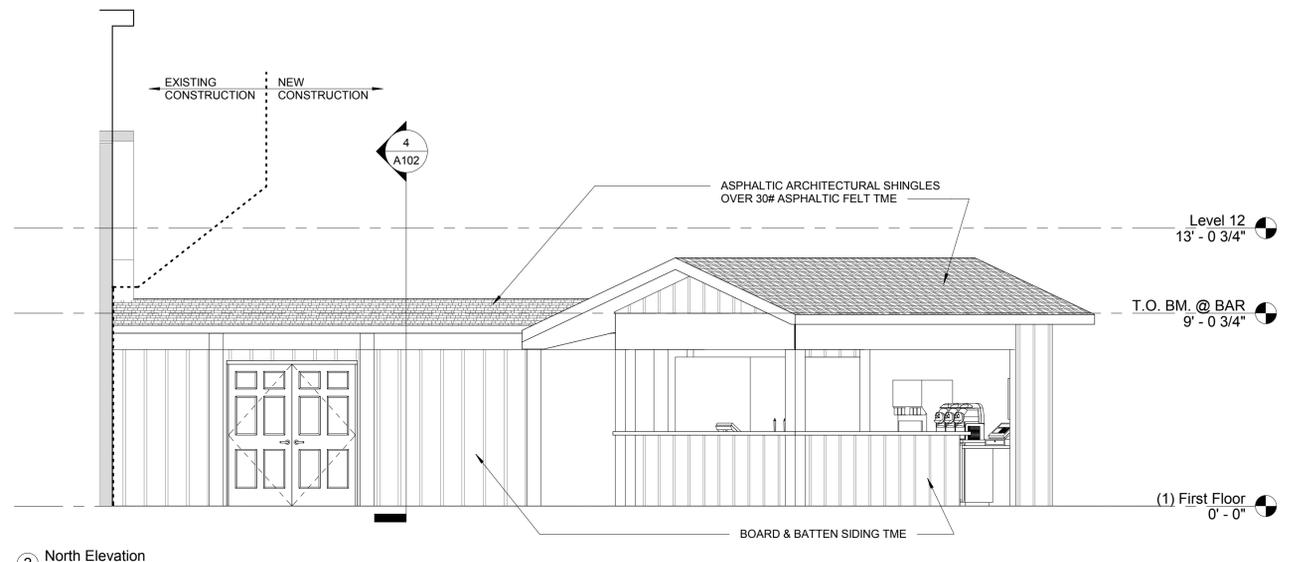




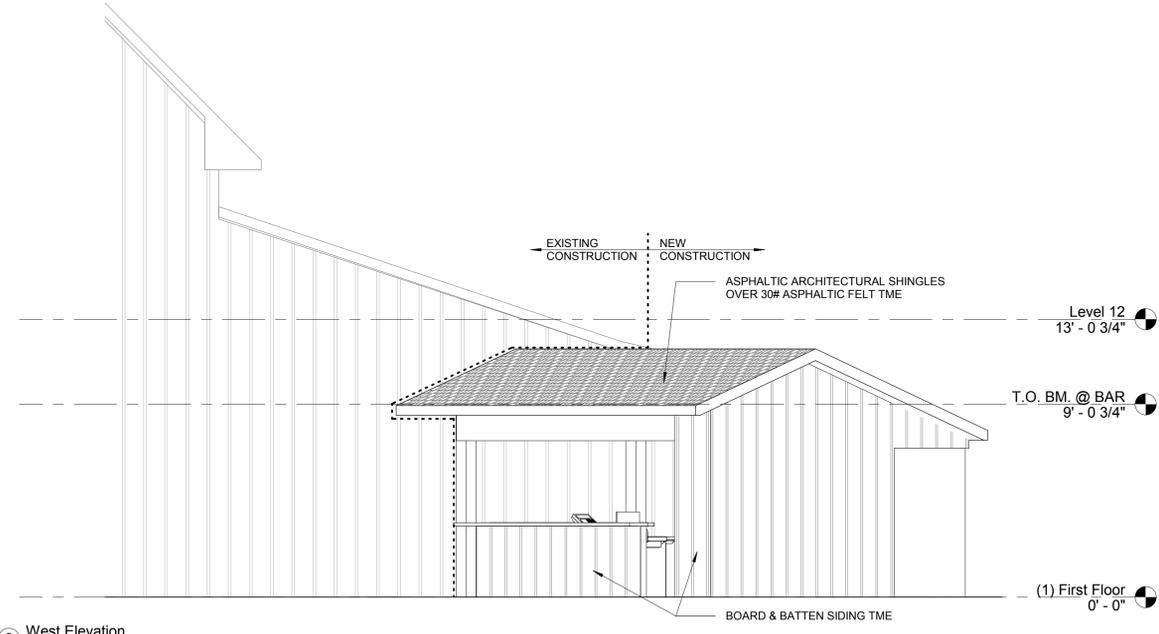
1 First Floor Plan  
1/4" = 1'-0"



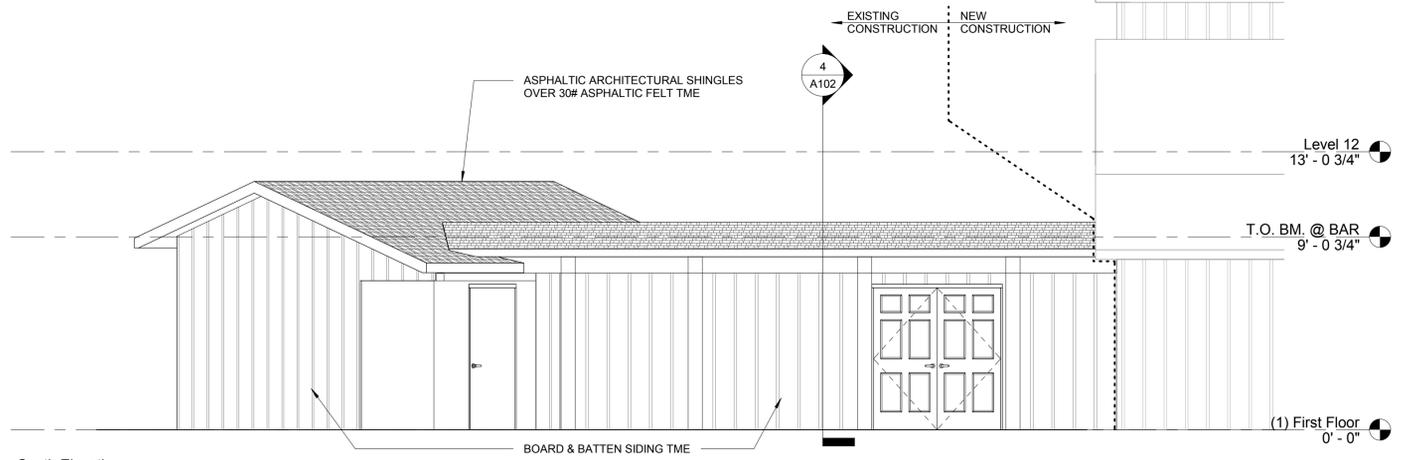
5 Perspective



2 North Elevation  
1/4" = 1'-0"



3 West Elevation  
1/4" = 1'-0"



4 South Elevation  
1/4" = 1'-0"

Project: **Outer Banks Brewing Station**  
Project No: **18039**  
Location: **600 S Croatan Hwy Kill Devil Hills, NC 27948**  
Title: **Floor Plan & Elevations**  
Date: **December 14, 2018**  
Scale: **1/4" = 1'-0"**

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



12/14/18

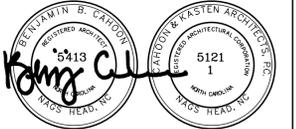
Revisions:

No.	Description	Date

12/14/2018 4:56:40 AM  
Designed: BBC  
Drawn: JPB  
Reviewed:  
Cad File:

Project: **Outer Banks Brewing Station**  
Project No: **18039**  
Location: **600 S Croatan Hwy Kill Devil Hills, NC 27948**  
Title: **Foundation, Roof Plan, Sections, & Details**  
Date: **December 14, 2018**  
Scale: **As indicated**

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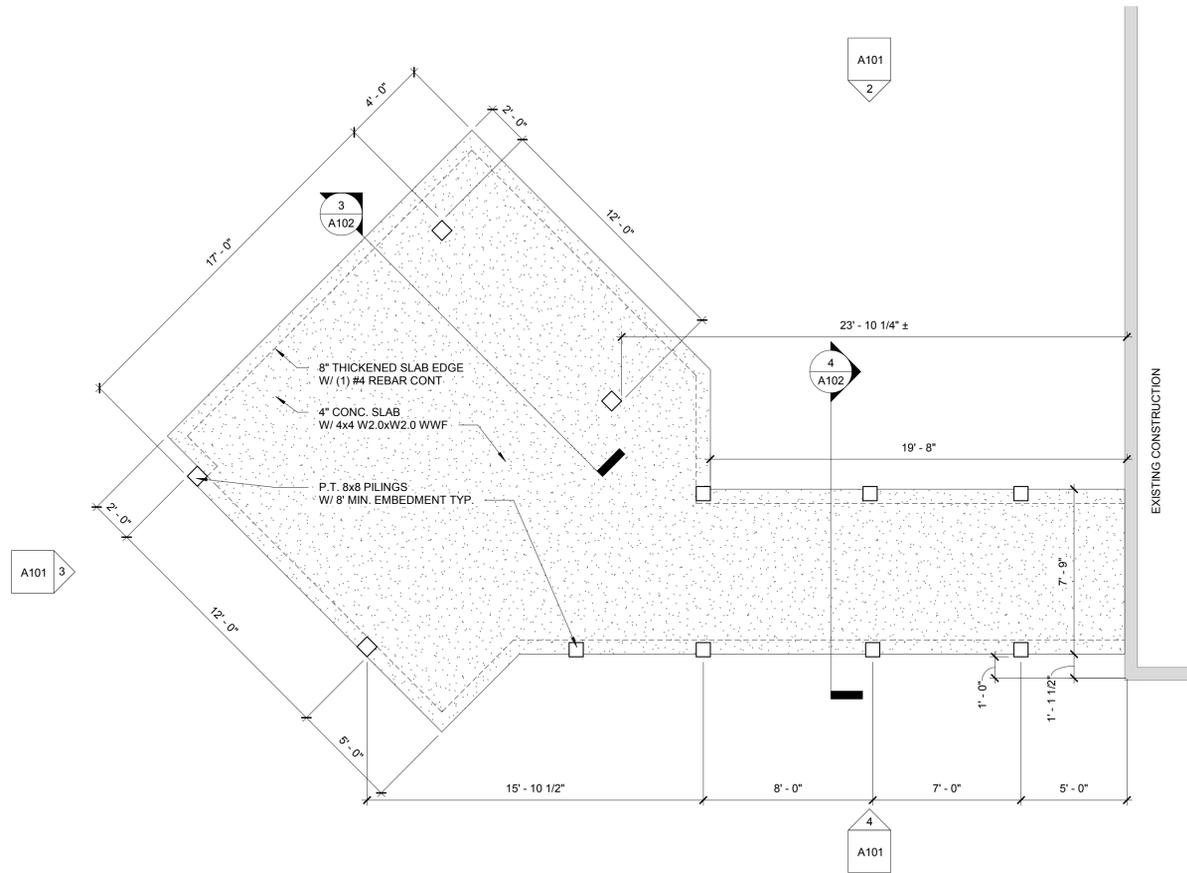


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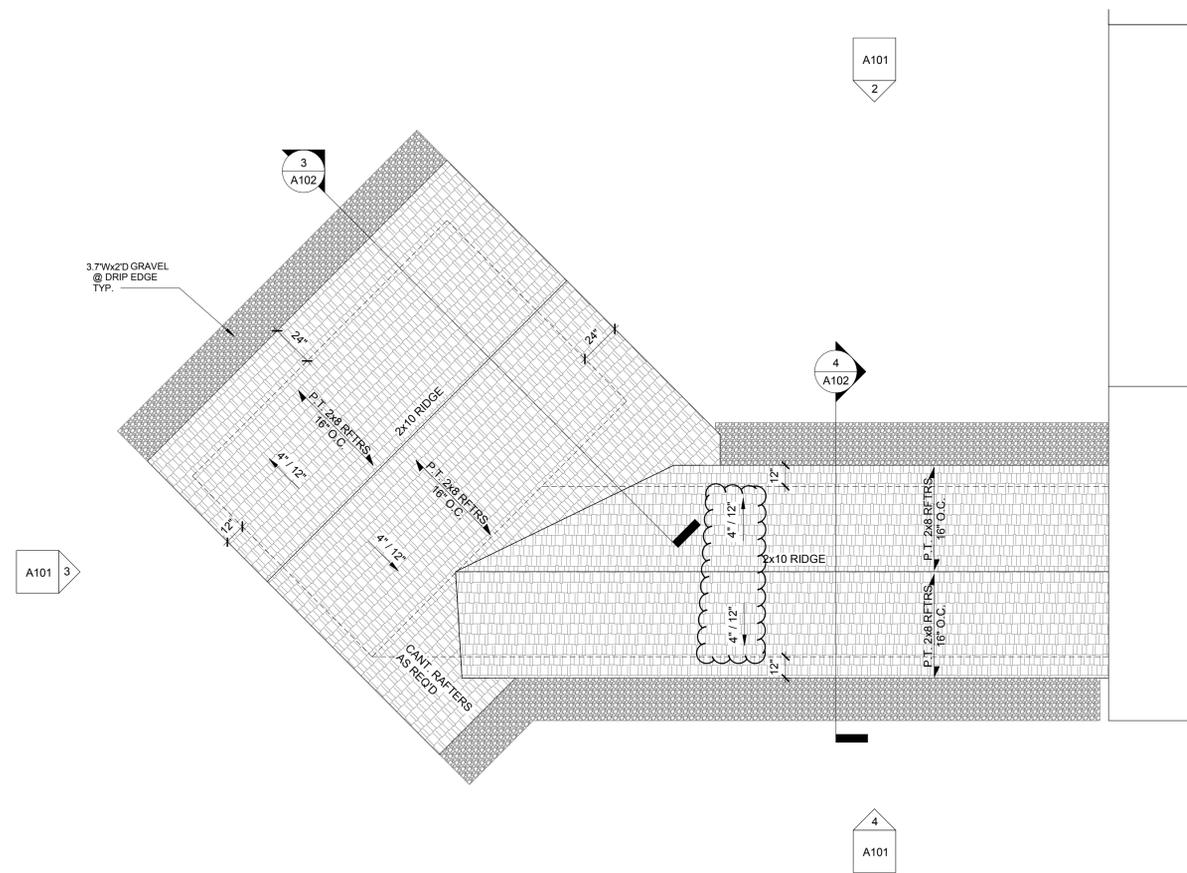
Revisions:

No.	Description	Date

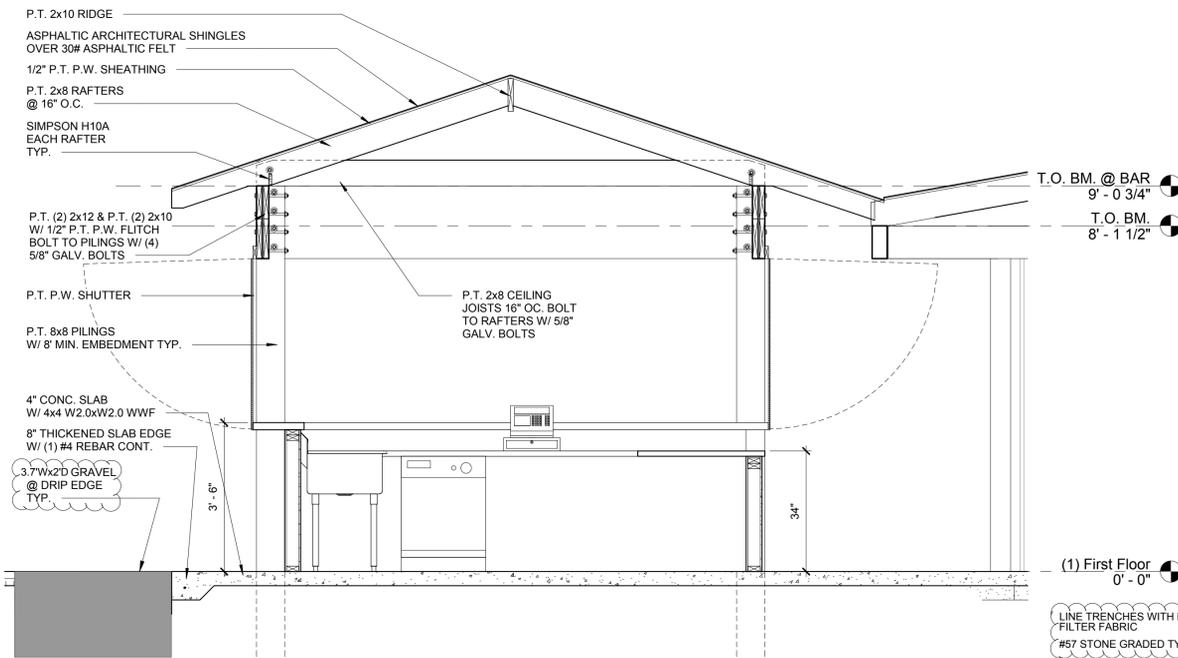
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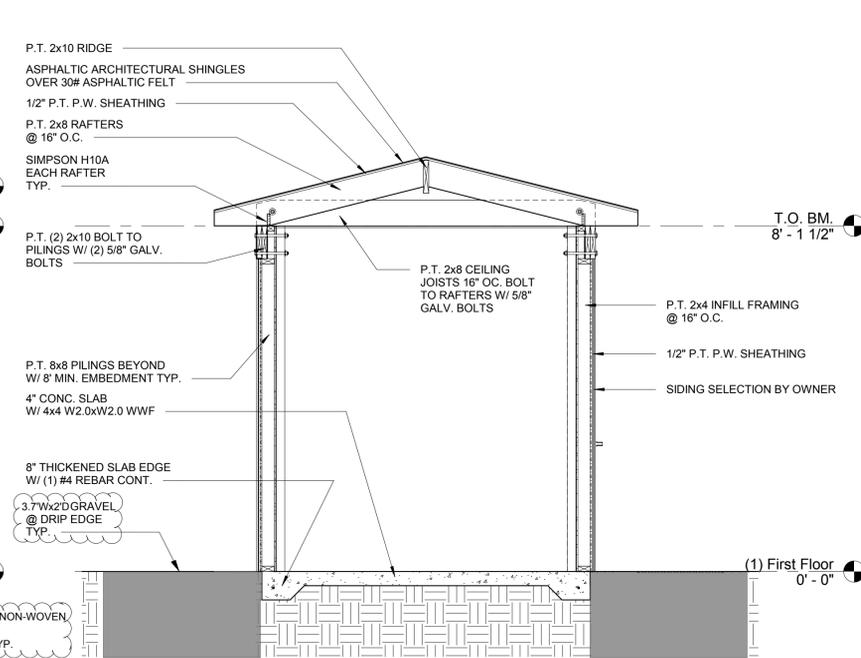
1 Foundation Plan  
1/4" = 1'-0"



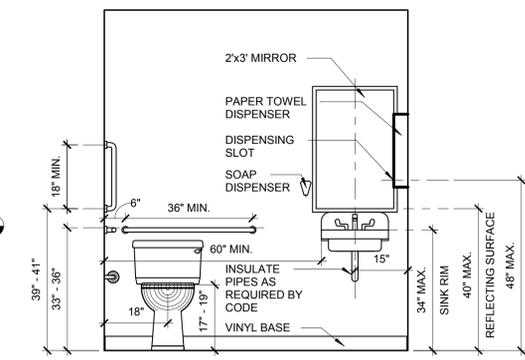
2 Roof Plan  
1/4" = 1'-0"



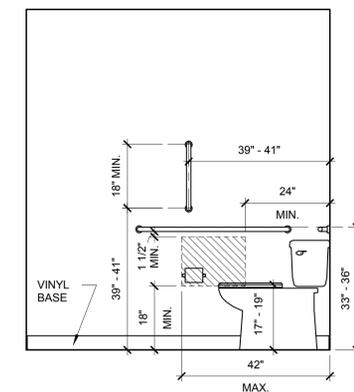
3 Building Section @ Bar  
1/2" = 1'-0"



4 Building Section @ Toilet  
1/2" = 1'-0"

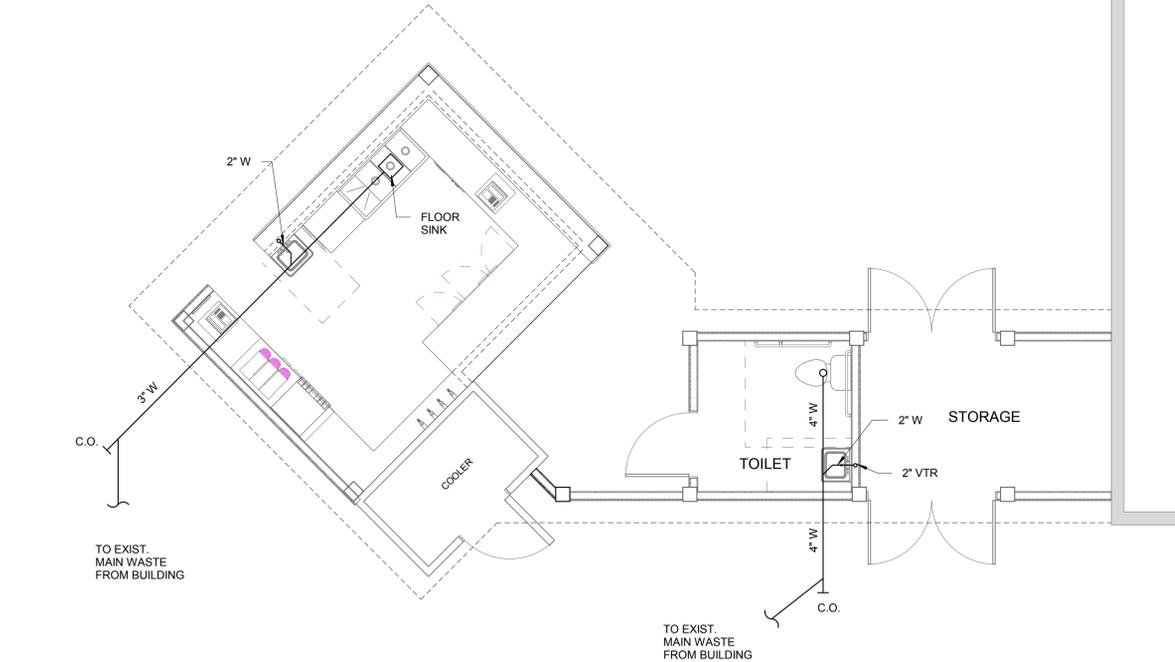


5 Toilet Elevation - LH Front  
1/2" = 1'-0"

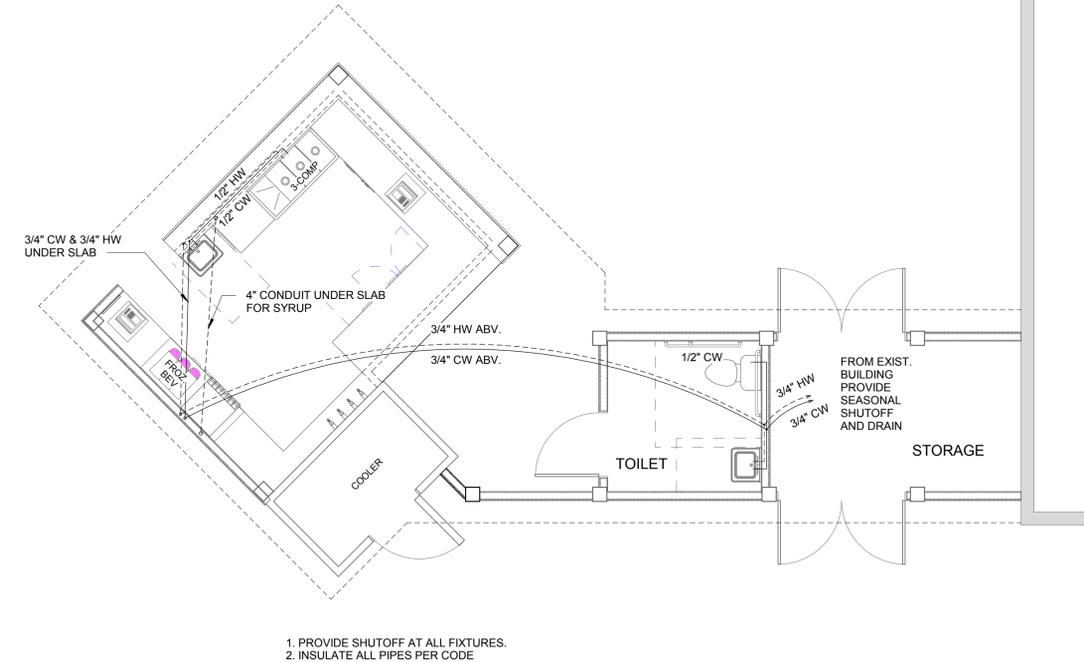


6 Toilet Elevation - LH Side  
1/2" = 1'-0"

Project: **Outer Banks Brewing Station**  
Project No: **18039**  
Location: **600 S Croatan Hwy Kill Devil Hills, NC 27948**  
Title: **Schematic Plumbing & Electrical Plans**  
Date: **December 14, 2018**  
Scale: **1/4" = 1'-0"**



1 First Floor Schematic Waste Plumbing Plan  
1/4" = 1'-0"



2 First Floor Schematic Supply Plumbing Plan  
1/4" = 1'-0"

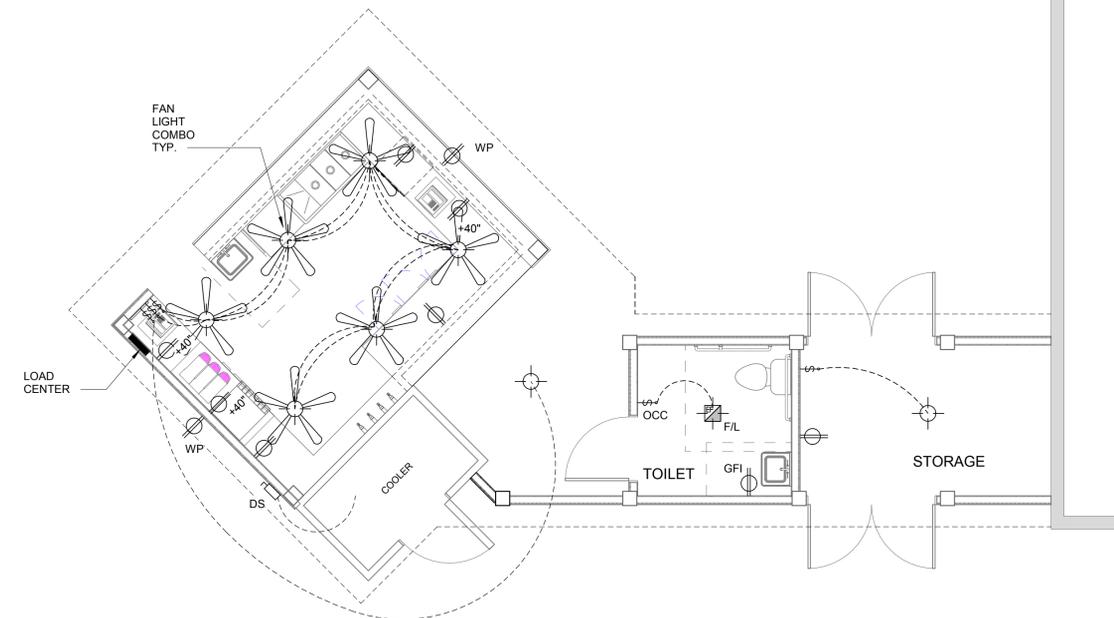
1. PROVIDE SHUTOFF AT ALL FIXTURES.  
2. INSULATE ALL PIPES PER CODE

**PLUMBING**

- IT IS THE INTENT OF THESE DRAWINGS TO GIVE THE PLUMBING CONTRACTOR A GENERAL LAYOUT OF THE PLUMBING FIXTURES REQUIRED FOR THIS PROJECT. IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO PROVIDE ALL INDICATED EQUIPMENT, FIXTURES AND REQUIRED MATERIALS, PIPING, TOOLS, AND RELATED APPURTENANCES FOR A COMPLETE AND SAFE PLUMBING SYSTEM.
- THE PLUMBING CONTRACTOR SHALL COORDINATE ELECTRICAL REQUIREMENTS FOR PLUMBING EQUIPMENT WITH THE ELECTRICAL CONTRACTOR.
- ALL PLUMBING FIXTURES SHALL BE WHITE. PRODUCT SELECTION SHALL BE APPROVED BY THE OWNER.
- ALL MATERIALS SHALL BE NEW AND SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, CONSISTENT WITH ACCEPTED TRADE PRACTICES AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- CARE SHALL BE TAKEN DURING CONSTRUCTION TO PROTECT THE SYSTEM FROM DAMAGE AND UNCLE DIRT. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN EACH FIXTURE AND REPLACE ANY DAMAGED FIXTURES.
- THE CONTRACTOR SHALL DETERMINE THE SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR THE INSTALLATION OF HIS WORK AND SHALL LAY OUT SUCH OPENINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZE OF CHASES AND OPENINGS. SHOULD FAILURE TO ACCURATELY LAY OUT OPENINGS AT THE PROPER TIME OCCUR, ALL NECESSARY CUTTING AND PATCHING SHALL BE DONE BY THE CONTRACTOR AT HIS EXPENSE.
- PIPING SHALL BE SECURED RIGIDLY AND PERMANENTLY TO THE BUILDING STRUCTURE. SPACES AROUND PIPES WHERE THEY PENETRATE WALLS, FLOORS AND CEILINGS SHALL BE SEALED TIGHT WITH INCOMBUSTIBLE MATERIAL.

**ELECTRICAL**

- IT IS THE INTENT OF THESE DRAWINGS TO GIVE THE ELECTRICAL CONTRACTOR A GENERAL LAYOUT OF THE ELECTRICAL SYSTEM REQUIRED FOR THIS PROJECT. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE ALL INDICATED EQUIPMENT, FIXTURES AND REQUIRED MATERIALS, WIRING, TOOLS, AND RELATED APPURTENANCES FOR A COMPLETE AND SAFE ELECTRICAL SYSTEM.
- THE WORK OF THE ELECTRICAL CONTRACTOR SHALL BE COMPLETED IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF THE PLUMBING AND MECHANICAL CONTRACTORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT HIS OWN WORK IN CONFORMANCE WITH THE WORK OF THE CODE AND GOOD PRACTICE AND FOR THE SAFETY AND GOOD CONDITION OF ALL WORK, MATERIAL AND EQUIPMENT INCLUDED IN HIS CONTRACT.
- ALL MATERIALS SHALL BE NEW AND SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, CONSISTENT WITH ACCEPTED TRADE PRACTICES AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- CARE SHALL BE TAKEN DURING CONSTRUCTION TO PROTECT THE SYSTEM FROM DAMAGE. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN EACH PIECE OF EQUIPMENT AND REPLACE ANY DAMAGED EQUIPMENT.
- THE CONTRACTOR SHALL DETERMINE THE SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR THE INSTALLATION OF HIS WORK AND SHALL LAY OUT SUCH OPENINGS. SHOULD FAILURE TO ACCURATELY LAY OUT OPENINGS AT THE PROPER TIME OCCUR, ALL NECESSARY CUTTING AND PATCHING SHALL BE DONE BY THE CONTRACTOR AT HIS EXPENSE.
- CONDUIT SHALL BE SECURED RIGIDLY AND PERMANENTLY TO THE BUILDING STRUCTURE. SPACES AROUND CONDUITS WHERE THEY PENETRATE WALLS, FLOORS AND CEILINGS SHALL BE SEALED TIGHT WITH INCOMBUSTIBLE MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSULATION.



3 First Floor Schematic Electrical Plan  
1/4" = 1'-0"

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Revisions:

No.	Description	Date

12/14/2018 4:57:11 AM  
Designed: BBC  
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Reviewed:  
Cad File: