

**2012 APPENDIX B
BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS
(except 1 and 2-family dwellings and townhouses)
(Reproduce the following data on the building plans sheet 1 or 2)**

Outer Banks Brewing Station

cahoon+kasten
ARCHITECTS
118 West Woodhill Drive
Nags Head, North Carolina 27959
P. 252.441.0271 F. 252.441.8724
E. office@obxarchitects.com

Name of Project: Outer Banks Brewing Station
Address: 600 S Croatan Hwy
Kill Devil Hills, NC 27948

Proposed Use: A-2 Restaurant
Owner/Authorized Agent: Aubrey Davis
Phone # (252) 449-2739 E-Mail thecrew@obbrewing.com
Owned By: City/County Private State
Code Enforcement Jurisdiction: City KDH County State

DESIGNER	FIRM	NAME	LIC #	TELEPHONE #	E-MAIL
Architectural	Cahoon + Kasten Architects	Ben Cahoon	5413	252.441.0271	ben@obxarchitects.com
Civil					
Electrical					
Fire Alarm					
Plumbing					
Mechanical					
Sprinkler-Standpipe					
Structural					
Retaining Walls >5h					
Other					

2012 EDITION OF NC CODE FOR: New Construction Addition Upfit
 Reconversion Alteration Repair Renovation
EXISTING: Reconversion Alteration Repair Renovation
CONSTRUCTED: (date) _____ **ORIGINAL USE(S) (Ch. 3):** A-2
RENOVATED: (date) _____ **CURRENT USE(S) (Ch. 3):** A-2
PROPOSED USE(S) (Ch. 3): A-2

BASIC BUILDING DATA
Construction Type: I-A II-A III-A IV V-A
(check all that apply) I-B II-B III-B V-B
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class 1 II III Wet Dry
Fire District: No Yes (primary) Flood Hazard Area: No Yes
Building Height: 33.5'
Gross Building Area:

Floor	Existing (sq. ft.)	New (sq. ft.)	Sub-total
6th Floor			
5th Floor			
4th Floor			
3rd Floor			
2nd Floor			
Mezzanine	1,059 SF		1,059 SF
1st Floor	5,317 SF	551 SF	5,868 SF
Basement			
Total	6,376 SF	551 SF	6,927 SF

ALLOWABLE AREA
Occupancy:
Assembly A-1 A-2 A-3 A-4 A-5
Business
Educational
Factory F-1 Moderate F-2 Low
Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
Institutional I-1 I-2 I-3 I-4 I-5
I-3 Condition
Mercantile
Residential R-1 R-2 R-3 R-4
Storage S-1 Moderate S-2 Low High-piled Enclosed Repair Garage
Utility and Miscellaneous
Accessory Occupancy:
Assembly A-1 A-2 A-3 A-4 A-5
Business
Educational
Factory F-1 Moderate F-2 Low
Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
Institutional I-1 I-2 I-3 I-4 I-5
I-3 Condition
Mercantile
Residential R-1 R-2 R-3 R-4
Storage S-1 Moderate S-2 Low High-piled Enclosed Repair Garage
Utility and Miscellaneous

Incidental Uses (Table 508.2.5):
 Furnace room where any piece of equipment is over 400,000 BTU per hour input
 Rooms with boilers where the largest piece of equipment is over 15 psi and 10 horsepower
 Refrigerant machine room
 Hydrogen cutoff rooms, not classified as Group H
 Incinerator rooms
 Paint shops, not classified as Group H, located in occupancies other than Group F
 Laboratories and vocational shops, not classified as Group H, located in a Group E or I-2 occupancy
 Laundry rooms over 100 square feet
 Group I-3 cells equipped with padded surfaces
 Group I-2 waste and linen collection rooms
 Waste and linen collection rooms over 100 square feet
 Stationary storage battery systems having a liquid electrolyte capacity of more than 50 gallons, or a lithium-ion capacity of 1,000 pounds used for facility standby power, emergency power or uninterrupted power supplies
 Rooms containing fire pumps
 Group I-2 storage rooms over 100 square feet
 Group I-2 commercial kitchens
 Group I-2 laundries equal to or less than 100 square feet
 Group I-2 rooms or spaces that contain fuel-fired heating equipment

Special Uses: 402 403 404 405 406 407 408 409 410 411 412 413 414
 415 416 417 418 419 420 421 422 423 424 425 426 427

Special Provisions: 509.2 509.3 509.4 509.5 509.6 509.7 509.8 509.9

Mixed Occupancy: No Yes Separation: _____ Hr. Exception: _____
 Incidental Use Separation (508.2.5)
This separation is not exempt as a Non-Separated Use (see exceptions).

Non-Separated Use (508.3)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

Separated Use (508.4) - See below for area calculations
For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1.00$$

STORY NO	DESCRIPTION AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 503.3 AREA	(C) AREA FOR OPEN SPACE INCREASE ¹	(D) AREA FOR SPRINKLER INCREASE ²	(E) ALLOWABLE AREA OR UNLIMITED ³	(F) MAXIMUM BUILDING AREA ⁴
1	A-2	5,868	6,000				6000

- Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
b. Total Building Perimeter = _____ (P)
c. Ratio (F/P) = _____ (F/P)
d. W = Minimum width of public way = _____ (W)
e. Percent of frontage increase = $100 \left[\frac{F}{P} - 0.25 \right] \times \frac{W}{30} = \text{_____} (\%)$
- The sprinkler increase per Section 506.3 is as follows:
a. Multi-story building $I_s = 200$ percent
b. Single story building $I_s = 300$ percent
- Unlimited area applicable under conditions of Section 507.
- Maximum Building Area = total number of stories in the building x E (506.4).
- The maximum area of parking garages must comply with Table 406.3.5. The maximum area of air traffic control towers must comply with 412.1.2.

ALLOWABLE HEIGHT

Type of Construction	ALLOWABLE (Table 503)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
Type of Construction	Type <u>VB</u>		Type <u>VB</u>	
Building Height in Feet	Feet <u>40'</u>	Feet = H + 20' = _____	<u>33.5' ±</u>	
Building Height in Stories	Stories <u>1</u>	Stories + 1 = _____	Stories <u>1</u>	

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (feet)	RATING		DETAIL# and SHEET#	DESIGN# for RATED ASSEMBLY	DESIGN# for RATED PENETRATION	DESIGN# for RATED JOINTS
		Req'd	Provided (w/ Reduction)				
Structural frame, including columns, girders, trusses	0						
Bearing walls							
Exterior	0						
North	0						
East	0						
West	0						
South	0						
Interior	0						
Nonbearing walls and partitions							
Exterior	0						
North	0						
East	0						
West	0						
South	0						
Interior	0						
Floor construction including supporting beams and joists	0						
Roof construction including supporting beams and joists	0						
Shafts - Exit							
Shafts - Other							
Corridor Separation							
Occupancy Separation							
Party/Fire Wall Separation							
Smoke Barrier Separation							
Tenant Separation							
Incidental Use Separation							

* Indicate section number permitting reduction

LIFE SAFETY SYSTEM REQUIREMENTS ADDITION ONLY
Emergency Lighting: No Yes
Exit Signs: No Yes
Fire Alarm: No Yes
Smoke Detection Systems: No Yes Partial _____
Panic Hardware: No Yes

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #: _____
 Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Existing structures within 30' of the proposed building
 Occupancy types for each area as it relates to occupant load calculations (Table 1004.1.1)
 Occupant loads for each area
 Exit access travel distances (1016)
 Common path of travel distances (1014.3 & 1028.8)
 Dead end lengths (1018.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.1)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1008.1.10)
 Location of doors with delayed egress locks and the amount of delay (1008.1.9.7)
 Location of doors with electromagnetic egress locks (1008.1.9.7)
 Location of doors equipped with hold open devices
 Location of emergency escape windows (1029)
 The square footage of each fire area (902)
 The square footage of each smoke compartment (407.4)
Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1106) N/A

Total Units	Accessible Units Required	Accessible Units Provided	Type A Units Required	Type A Units Provided	Type B Units Required	Type B Units Provided	Total Accessible Units Provided

ACCESSIBLE PARKING (SECTION 1106) NO CHANGE

Lot or Parking Area	Total # of Parking Spaces		# of Accessible Spaces Provided			Total # Accessible Provided
	Required	Provided	Regular With 5' Access Aisle	132" Access Aisle	8' Access Aisle	
Total						

STRUCTURAL DESIGN ADDITION ONLY

DESIGN LOADS:
Importance Factors: Wind (I_w) 1.0
Snow (I_s) 1.0
Seismic (I_e) 1.0
Live Loads: Roof 20 psf
Mezzanine 20 psf
Floor 100 psf
Ground Snow Load: 10 psf
Wind Loads: Basic Wind Speed 130 mph (ASCE-7)
Exposure Category C
Wind Base Shears (for MWFRS) $V_x = \text{_____}$ $V_y = \text{_____}$

SEISMIC DESIGN CATEGORY A B C D
Provide the following Seismic Design Parameters:
Occupancy Category (Table 1604.5) I II III IV
Spectral Response Acceleration S_s _____ %g S_1 _____ %g
Site Classification (Table 1613.5.2) A B C D E F
 Field Test Presumptive Historical Data
Basic structural system (check one)
 Bearing Wall Dual w/Special Moment Frame
 Building Frame Dual w/Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum
Seismic base shear: $V_x = \text{_____}$ $V_y = \text{_____}$
Analysis Procedure: Simplified Equivalent Lateral Force Dynamic
Architectural, Mechanical, Components anchored? Yes No

LATERAL DESIGN CONTROL: Earthquake Wind
SOIL BEARING CAPACITIES: Field Test (provide copy of test report) _____ psf
Presumptive Bearing capacity 1,500 psf
Pile size, type, and capacity _____
SPECIAL INSPECTIONS REQUIRED: Yes No

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

Use	Waterclosets		Urinals	Lavatories		Showers/Tubs	Drinking Fountains	
	Male	Female		Male	Female		Regular	Accessible
Existing	2	5	2	3	4		0	0
New	1*			1*				
Required	3	3	2	3	3		0	0

* UNISEX

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

ENERGY SUMMARY N/A NO CHANGE TO EXISTING

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs the annual energy cost for the proposed design.
Climate Zone 3 4 5
Method of Compliance
 Prescriptive (Energy Code)
 Performance (Energy Code)
 Prescriptive (ASHRAE 90.1)
 Performance (ASHRAE 90.1)

THERMAL ENVELOPE
Roof/ceiling Assembly (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Skylights in each assembly: _____
U-Value of skylights: _____
total s.f. of skylights in each assembly: _____

Exterior Walls (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Openings (windows or doors with glazing)
U-Value of assembly: _____
Solar heat gain coefficient: _____
Projection factor: _____
Door R-Values: _____

Walls below grade (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors over unconditioned space (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors slab on grade
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/vertical requirement: _____
slab heated: _____

MECHANICAL SUMMARY N/A

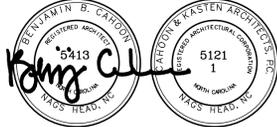
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT
Thermal Zone
winter dry bulb: _____
summer dry bulb: _____
Interior design conditions
winter dry bulb: _____
summer dry bulb: _____
relative humidity: _____
Building heating load: _____
Building cooling load: _____
Mechanical Spacing Conditioning System
Unitary
description of unit: _____
heating efficiency: _____
cooling efficiency: _____
size category of unit: _____
Boiler
Size category, if oversized, state reason: _____
Chiller
Size category, if oversized, state reason: _____
List equipment efficiencies: _____

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT
Method of Compliance:
Energy Code: Prescriptive Performance
ASHRAE 90.1: Prescriptive Performance
Lighting schedule: (each fixture type)
lamp type required in fixture LED
number of lamps in fixture (1) _____
ballast type used in the fixture N/A
number of ballasts in fixture N/A
total wattage per fixture 15
total interior wattage specified vs. allowed (whole building or space by space) _____
total exterior wattage specified vs. allowed 120W VS 550W
Additional Prescriptive Compliance
 506.2.1 More Efficient Mechanical Equipment
 506.2.2 Reduced Lighting Power Density
 506.2.3 Energy Recovery Ventilation Systems
 506.2.4 Higher Efficiency Service Water Heating
 506.2.5 On Site Supply of Renewable Energy
 506.2.6 Automatic Daylighting Control Systems

Project: **Outer Banks Brewing Station**
Project No: **18039**
Location: **600 S Croatan Hwy
Kill Devil Hills, NC 27948**
Title: **Appendix B**
Date: **December 14, 2018**
Scale: _____

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



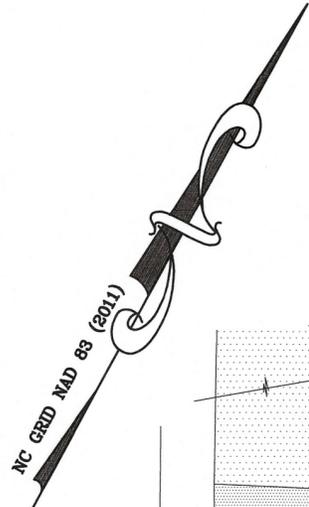
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Revisions:

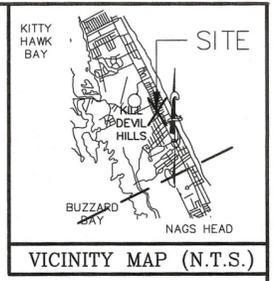
No.	Description	Date

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Designed: BBC
Drawn: JPB
Reviewed: _____
Cad File: _____

A001



- LEGEND:**
- ⊙ Ex. Rebar
 - ⊙ Ex. CM
 - ⊙ Ex. OP
 - ⊙ USC&G Control Monument
 - ⊙ Ex. Pk Nail
 - ⊙ Fence
 - ⊙ Power Pole
 - ⊙ Lamp Post
 - ⊙ Monitoring Well
 - ⊙ Transformer
 - ⊙ Flood Light
 - ⊙ Panel
 - ⊙ Hand-Cap Parking Sign



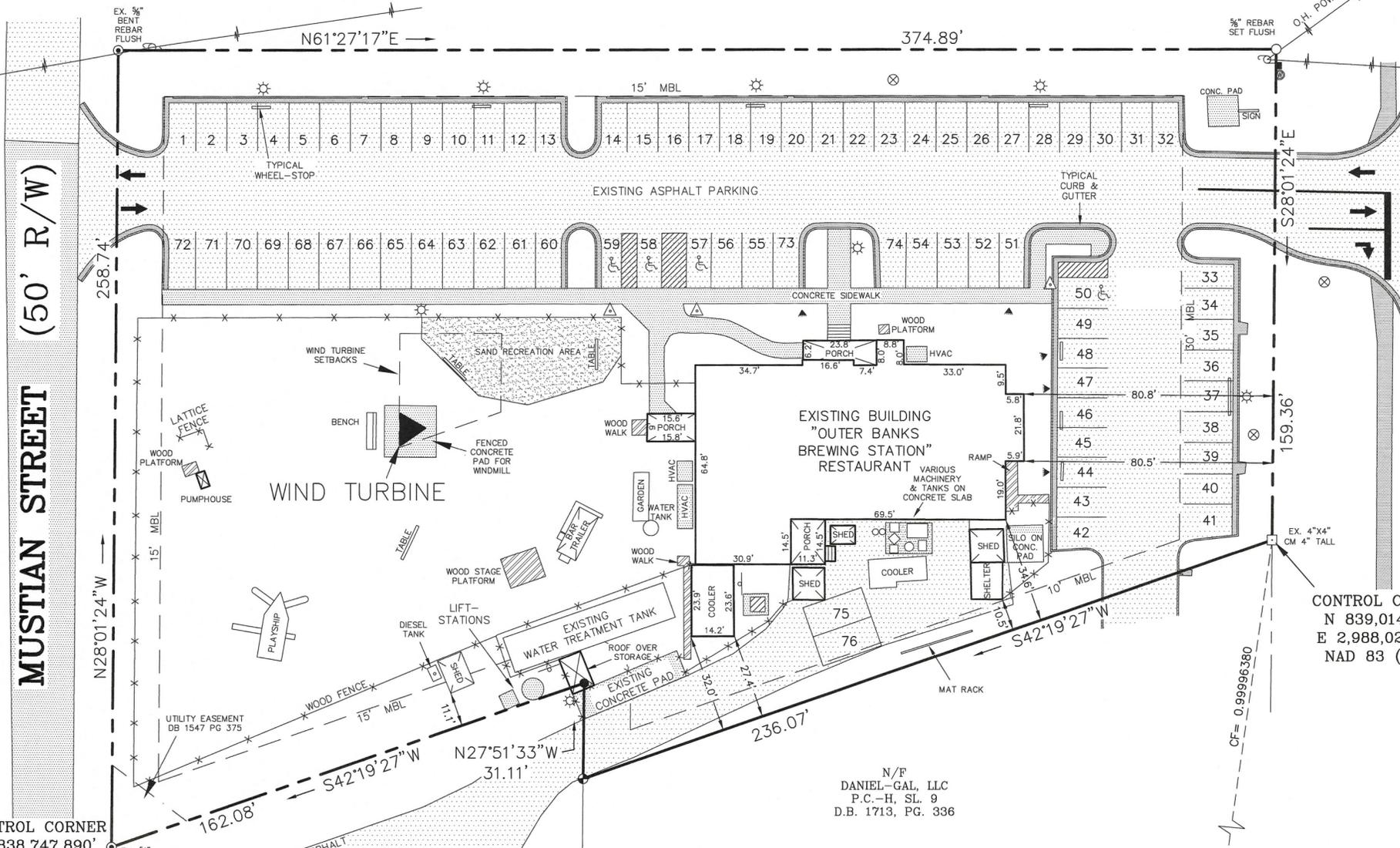
GODDARD AVENUE (60' UNIMPROVED R/W)

MUSTIAN STREET (50' R/W)

CROATAN HIGHWAY (150' R/W)

BLUE JAY STREET (50' R/W)

HILLSIDE DRIVE (60' R/W)



NOTES:

Owner: Outer Banks Brewing, LLC
 PO Box 2584
 Kill Devil Hills, NC 27948

Address: 600 South Croatan Highway
 Lot Area = 79,450 Sq. Ft. / 1.82 Acres

Existing
 Lot Coverage = 41,888 Sq. Ft. (52.7%)

Flood Zones are subject to change

Zoning: Commercial

Setbacks shown are as per the Town of Kill Devil Hills Zoning; they do not reflect any Restrictive Covenants that may exist. They must be verified by the Town prior to any planning or construction.

This survey was based on the existing property corners found in conjunction with the recorded reference given.

Certifier hereon is not responsible for utilities and/or features that are not visible at the time of the survey, nor any additional setbacks that are not shown.

CONTROL CORNER
 N 839,014.755'
 E 2,988,028.847'
 NAD 83 (2011)

N/F
 DANIEL-GAL, LLC
 P.C.-H, SL. 9
 D.B. 1713, PG. 336

I, M. DOUGLAS STYONS, JR., P.L.S., certify that this plat was drawn from an actual field land survey that the error of closure as calculated by latitudes and departures is at least 1:10,000; the horizontal positional accuracy of the GNSS points is 0.03'

Witness my hand and seal this 25th day of September A.D. 2018

P.L.S. *[Signature]* L-3227

- 1.) Class of Survey: Suburban
- 2.) Positional Accuracy: 0.03' Horizontal
- 3.) Type of GPS Field Procedure: VRS NETWORK
- 4.) Dates of Survey: 1-25-13
- 5.) Datum/Epoch: NAD 83/2011
- 6.) Published/Fixed Control Used: USC&G R 168 1963
- 7.) Geoid Model: 2012
- 8.) Units: Survey Feet



USC&G STATION
 R 168 1963
 N 836,169.56'
 E 2,989,530.17'
 NAD 83 (2011)

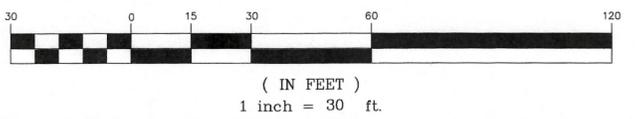
Styons Surveying Services

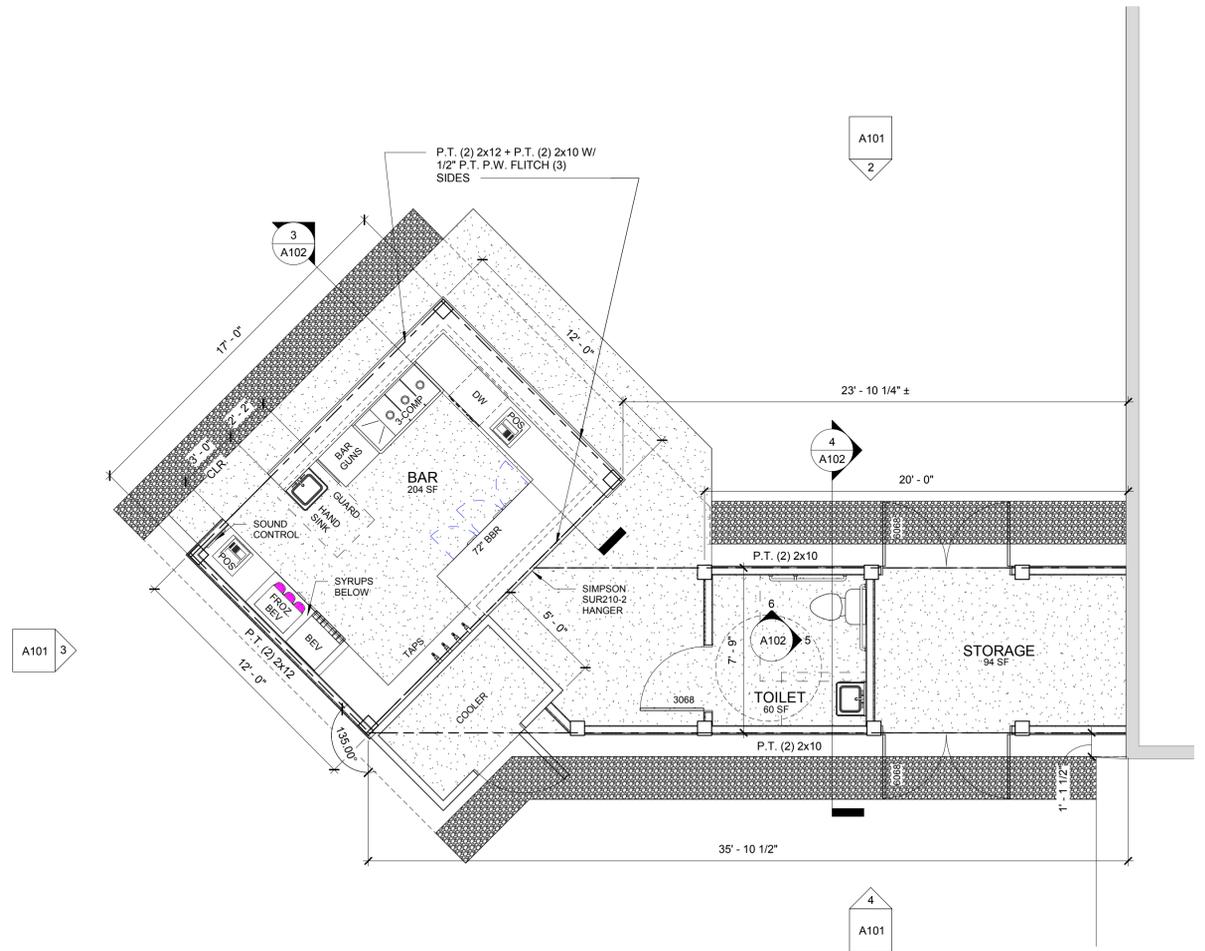
2700 N. Croatan Hwy. Kill Devil Hills, NC. 27948 C-1697
 Phone: (252) 441-1415 Fax: (252) 480-1182

PARCEL @ 600 S. CROATAN HIGHWAY

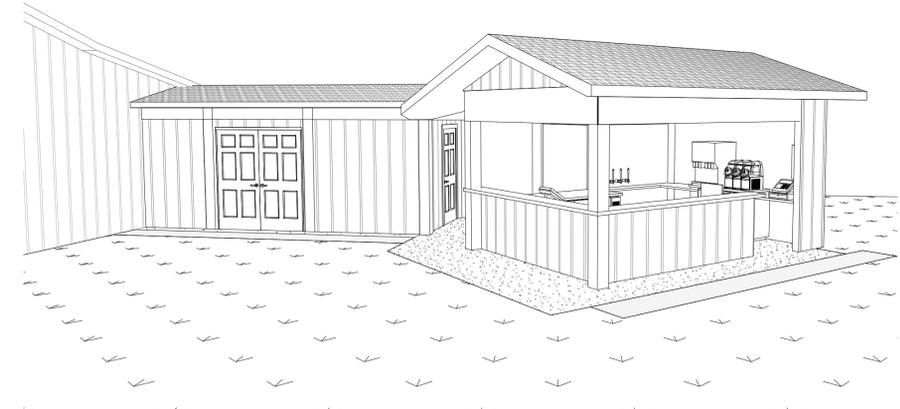
SCALE: 1" = 30'	SURVEYED FOR		
FILE NO.: 13-012	OUTER BANKS BREWING, LLC		
DWG NO.: 13012P2	ATLANTIC TOWNSHIP KILL DEVIL HILLS	DARE COUNTY NORTH CAROLINA	
FLOOD ZONE: AE (9.0')	DATE: 9-20-18	REC. REF. P.C.-H,SL.9, MB-1,PG126 D.B. 309, PG. 296-297; NAD 83	SHEET: 1 OF 1
	PIN NO.: 07988308799003	F.I.R.M.: 3720 9883 00 J	F.I.R.M. DATE: 9-20-06

GRAPHIC SCALE

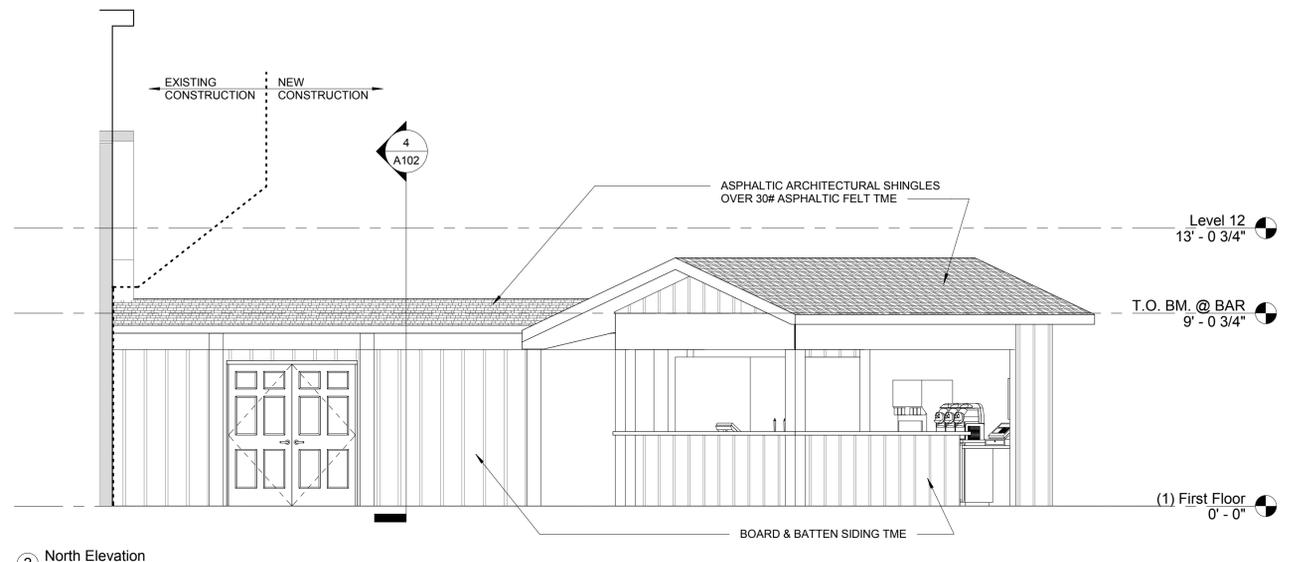




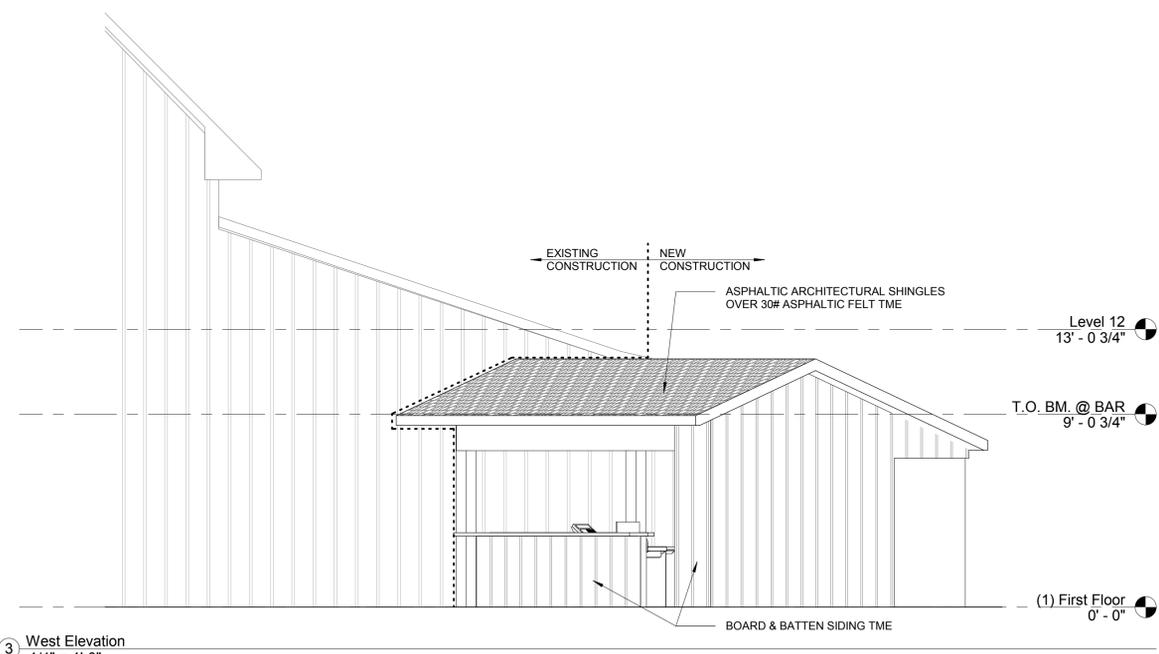
1 First Floor Plan
1/4" = 1'-0"



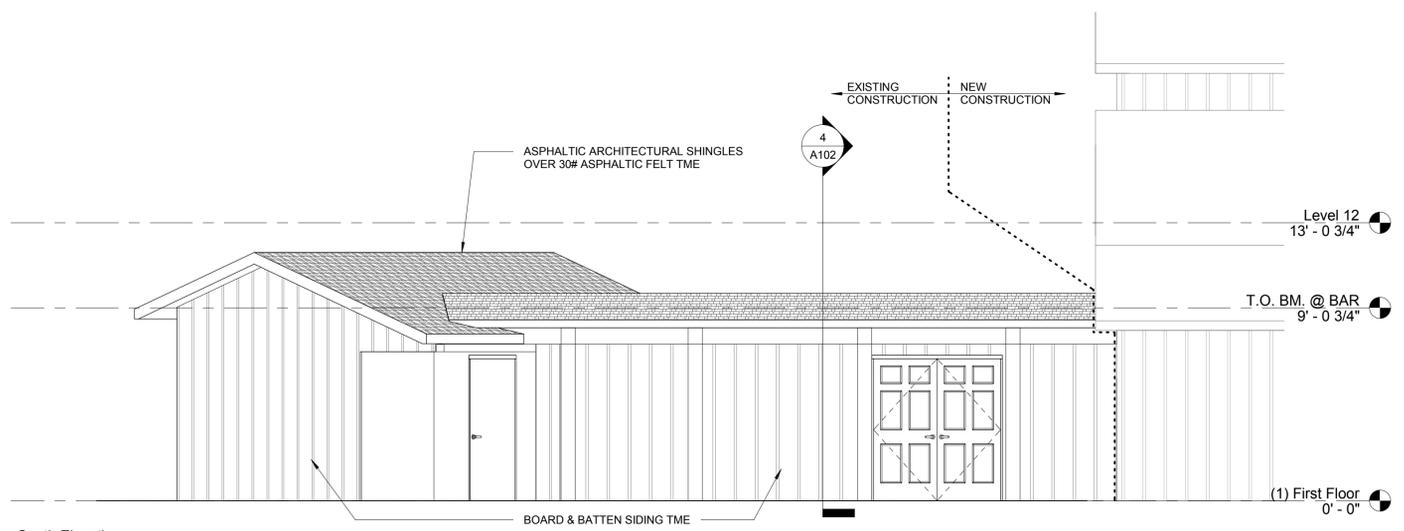
5 Perspective



2 North Elevation
1/4" = 1'-0"



3 West Elevation
1/4" = 1'-0"



4 South Elevation
1/4" = 1'-0"

Project: **Outer Banks Brewing Station**
Project No: **18039**
Location: **600 S Croatan Hwy Kill Devil Hills, NC 27948**
Title: **Floor Plan & Elevations**
Date: **December 14, 2018**
Scale: **1/4" = 1'-0"**

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



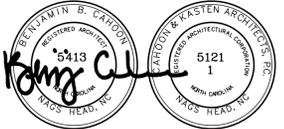
Revisions:

No.	Description	Date

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Designed: BBC
Drawn: JPB
Reviewed:
Cad File:

Project: **Outer Banks Brewing Station**
Project No: **18039**
Location: **600 S Croatan Hwy Kill Devil Hills, NC 27948**
Title: **Foundation, Roof Plan, Sections, & Details**
Date: **December 14, 2018**
Scale: **As indicated**

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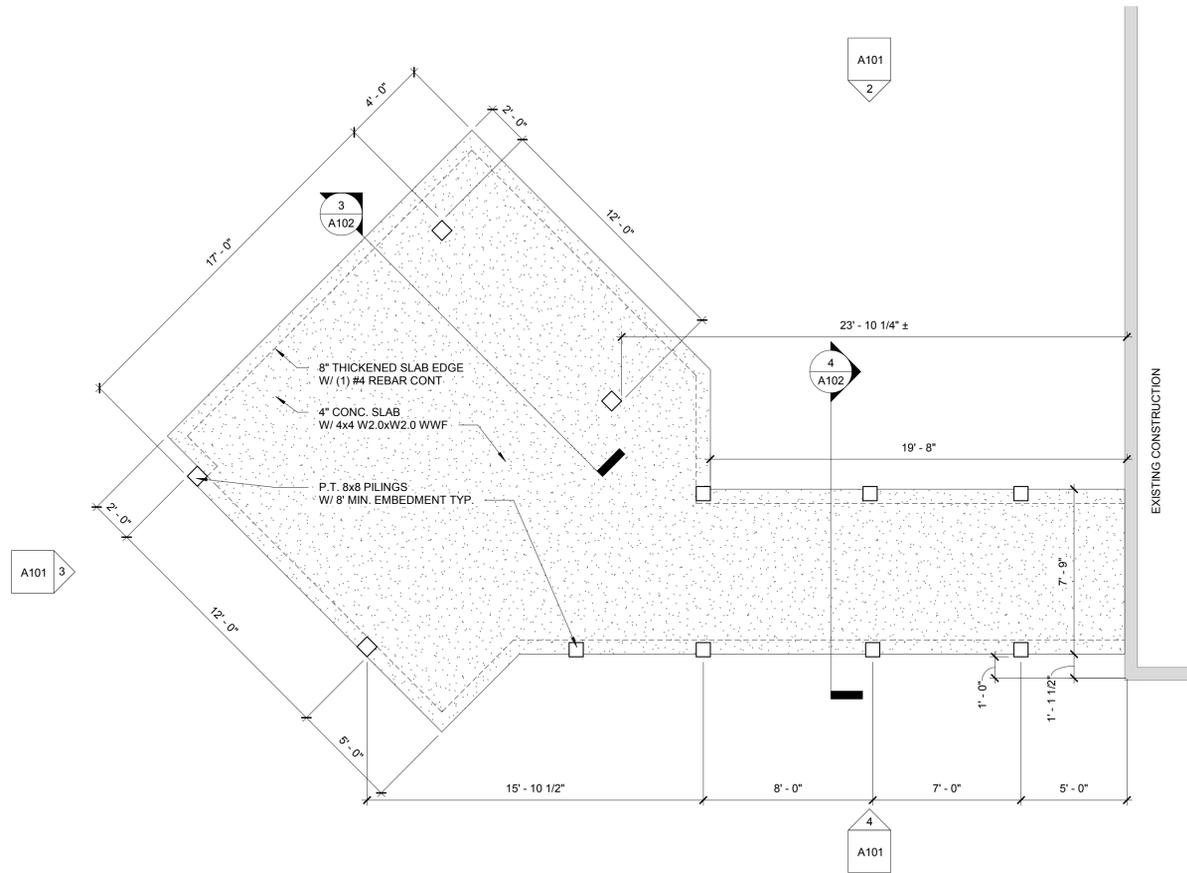


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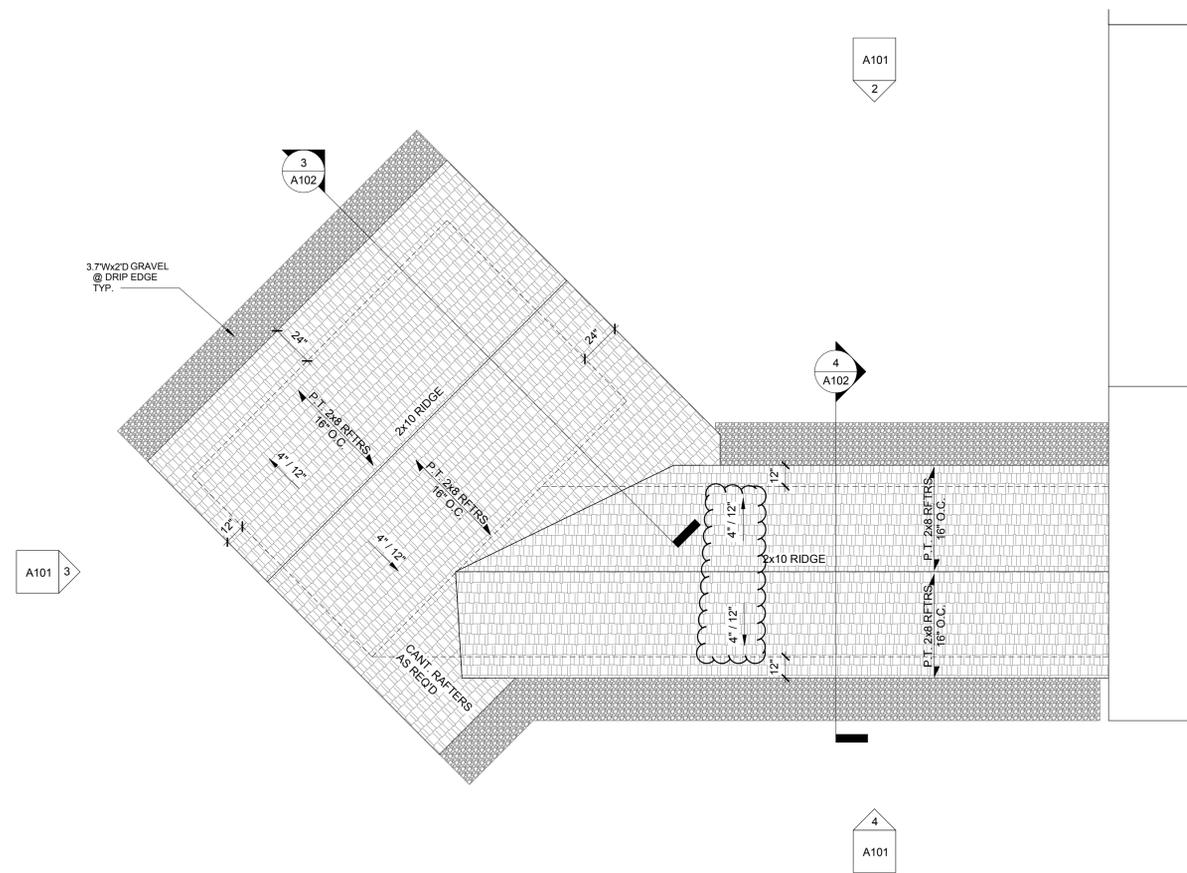
Revisions:

No.	Description	Date

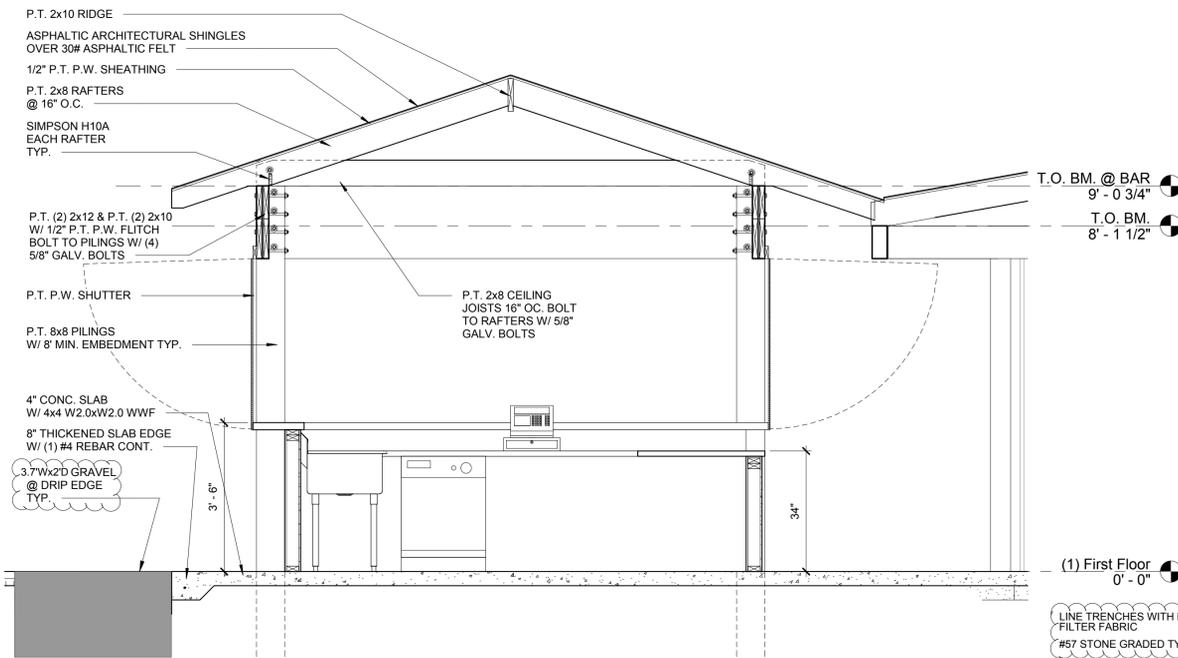
12/14/2018 4:57:03 AM
Designed: BBC
Drawn: JPB
Reviewed:
Cad File:



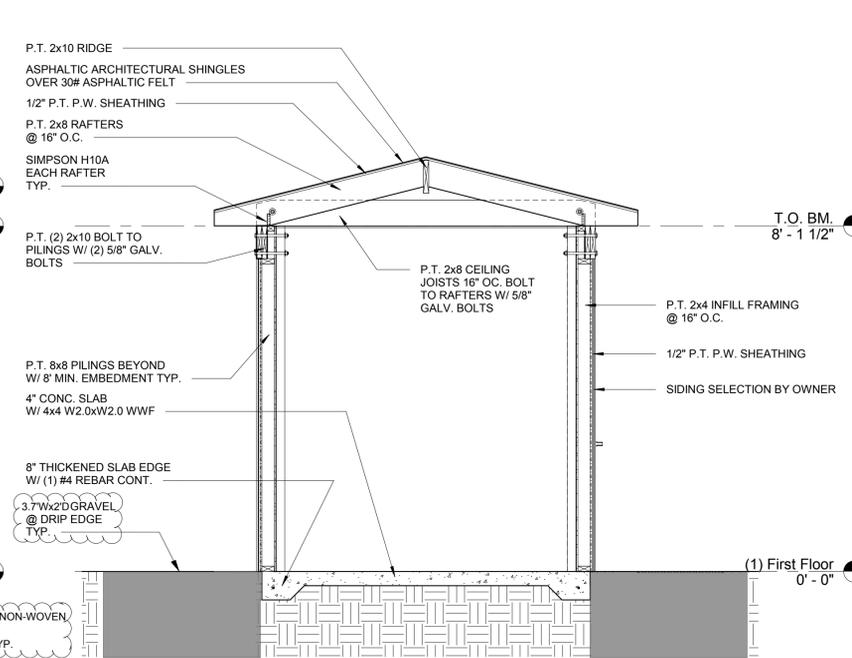
1 Foundation Plan
1/4" = 1'-0"



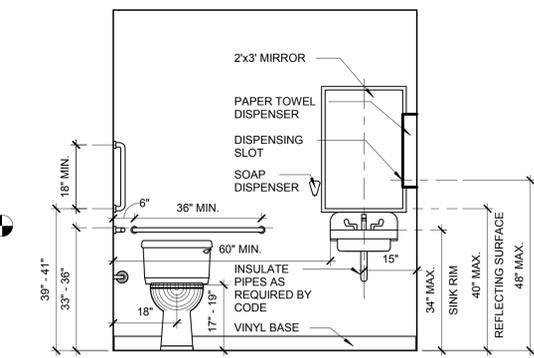
2 Roof Plan
1/4" = 1'-0"



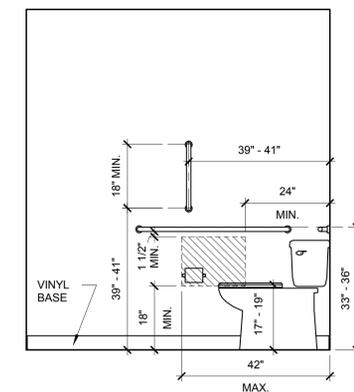
3 Building Section @ Bar
1/2" = 1'-0"



4 Building Section @ Toilet
1/2" = 1'-0"

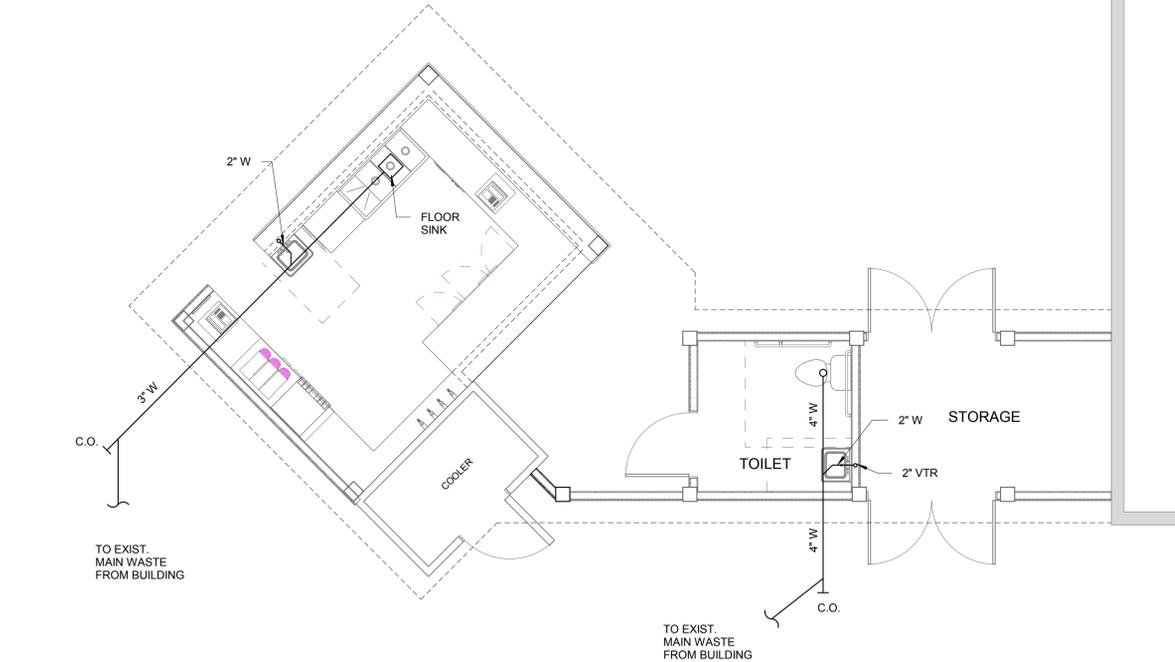


5 Toilet Elevation - LH Front
1/2" = 1'-0"

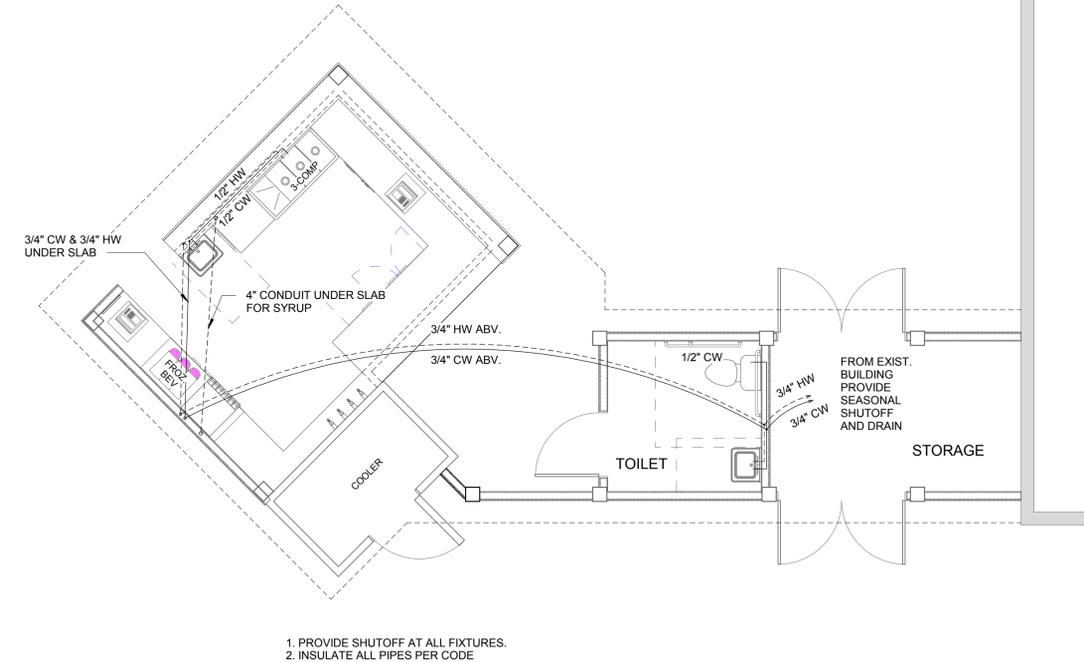


6 Toilet Elevation - LH Side
1/2" = 1'-0"

Project: **Outer Banks Brewing Station**
Project No: **18039**
Location: **600 S Croatan Hwy Kill Devil Hills, NC 27948**
Title: **Schematic Plumbing & Electrical Plans**
Date: **December 14, 2018**
Scale: **1/4" = 1'-0"**



1 First Floor Schematic Waste Plumbing Plan
1/4" = 1'-0"



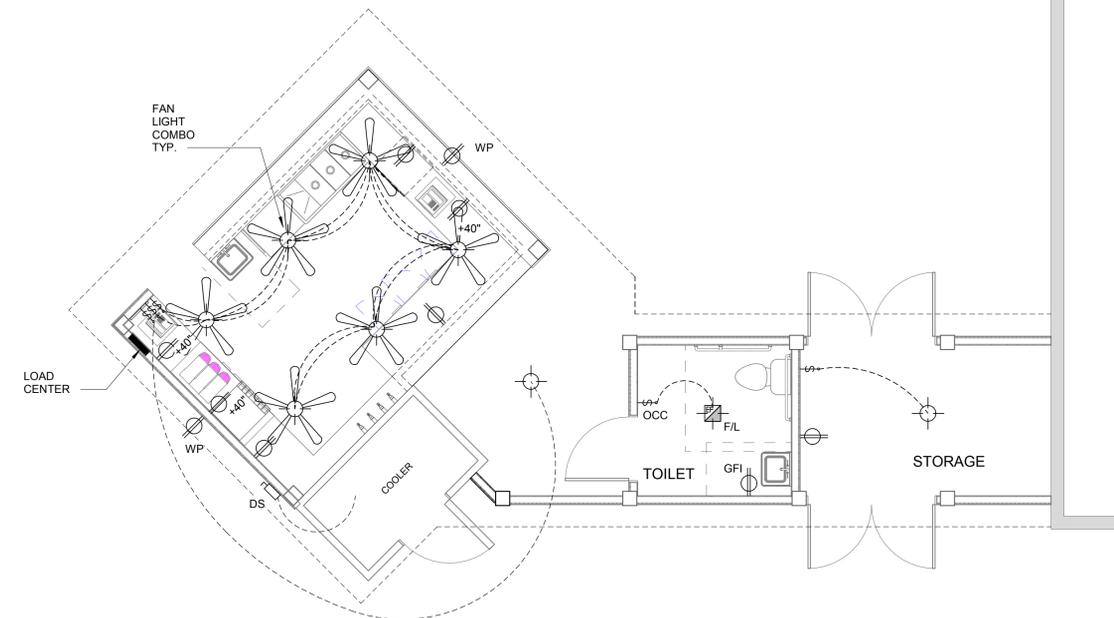
2 First Floor Schematic Supply Plumbing Plan
1/4" = 1'-0"

PLUMBING

- IT IS THE INTENT OF THESE DRAWINGS TO GIVE THE PLUMBING CONTRACTOR A GENERAL LAYOUT OF THE PLUMBING FIXTURES REQUIRED FOR THIS PROJECT. IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO PROVIDE ALL INDICATED EQUIPMENT, FIXTURES AND REQUIRED MATERIALS, PIPING, TOOLS, AND RELATED APPURTENANCES FOR A COMPLETE AND SAFE PLUMBING SYSTEM.
- THE PLUMBING CONTRACTOR SHALL COORDINATE ELECTRICAL REQUIREMENTS FOR PLUMBING EQUIPMENT WITH THE ELECTRICAL CONTRACTOR.
- ALL PLUMBING FIXTURES SHALL BE WHITE. PRODUCT SELECTION SHALL BE APPROVED BY THE OWNER.
- ALL MATERIALS SHALL BE NEW AND SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, CONSISTENT WITH ACCEPTED TRADE PRACTICES AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- CARE SHALL BE TAKEN DURING CONSTRUCTION TO PROTECT THE SYSTEM FROM DAMAGE AND UNCLE DIRT. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN EACH FIXTURE AND REPLACE ANY DAMAGED FIXTURES.
- THE CONTRACTOR SHALL DETERMINE THE SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR THE INSTALLATION OF HIS WORK AND SHALL LAY OUT SUCH OPENINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZE OF CHASES AND OPENINGS. SHOULD FAILURE TO ACCURATELY LAY OUT OPENINGS AT THE PROPER TIME OCCUR, ALL NECESSARY CUTTING AND PATCHING SHALL BE DONE BY THE CONTRACTOR AT HIS EXPENSE.
- PIPING SHALL BE SECURED RIGIDLY AND PERMANENTLY TO THE BUILDING STRUCTURE. SPACES AROUND PIPES WHERE THEY PENETRATE WALLS, FLOORS AND CEILINGS SHALL BE SEALED TIGHT WITH INCOMBUSTIBLE MATERIAL.

ELECTRICAL

- IT IS THE INTENT OF THESE DRAWINGS TO GIVE THE ELECTRICAL CONTRACTOR A GENERAL LAYOUT OF THE ELECTRICAL SYSTEM REQUIRED FOR THIS PROJECT. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE ALL INDICATED EQUIPMENT, FIXTURES AND REQUIRED MATERIALS, WIRING, TOOLS, AND RELATED APPURTENANCES FOR A COMPLETE AND SAFE ELECTRICAL SYSTEM.
- THE WORK OF THE ELECTRICAL CONTRACTOR SHALL BE COMPLETED IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF THE PLUMBING AND MECHANICAL CONTRACTORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT HIS OWN WORK IN CONFORMANCE WITH THE WORK OF THE CODE AND GOOD PRACTICE AND FOR THE SAFETY AND GOOD CONDITION OF ALL WORK, MATERIAL AND EQUIPMENT INCLUDED IN HIS CONTRACT.
- ALL MATERIALS SHALL BE NEW AND SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, CONSISTENT WITH ACCEPTED TRADE PRACTICES AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- CARE SHALL BE TAKEN DURING CONSTRUCTION TO PROTECT THE SYSTEM FROM DAMAGE. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN EACH PIECE OF EQUIPMENT AND REPLACE ANY DAMAGED EQUIPMENT.
- THE CONTRACTOR SHALL DETERMINE THE SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR THE INSTALLATION OF HIS WORK AND SHALL LAY OUT SUCH OPENINGS. SHOULD FAILURE TO ACCURATELY LAY OUT OPENINGS AT THE PROPER TIME OCCUR, ALL NECESSARY CUTTING AND PATCHING SHALL BE DONE BY THE CONTRACTOR AT HIS EXPENSE.
- CONDUIT SHALL BE SECURED RIGIDLY AND PERMANENTLY TO THE BUILDING STRUCTURE. SPACES AROUND CONDUITS WHERE THEY PENETRATE WALLS, FLOORS AND CEILINGS SHALL BE SEALED TIGHT WITH INCOMBUSTIBLE MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSULATION.



3 First Floor Schematic Electrical Plan
1/4" = 1'-0"

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



Revisions:

No.	Description	Date

12/14/2018 4:57:11 AM
Designed: BBC
Drawn: JPB
Reviewed:
Cad File: